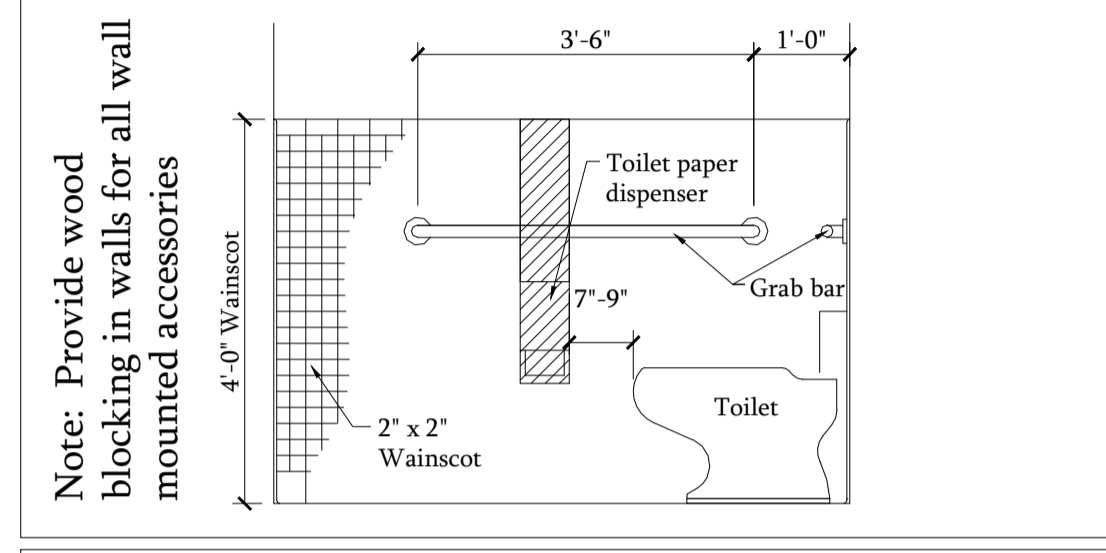
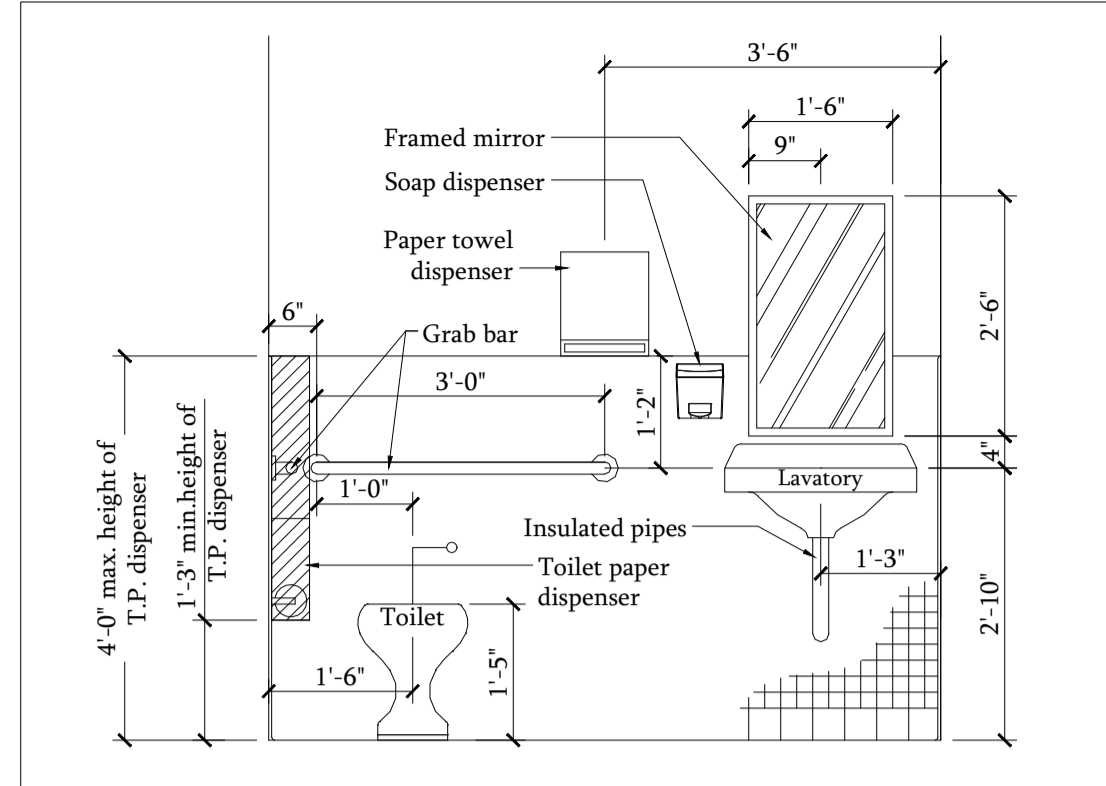
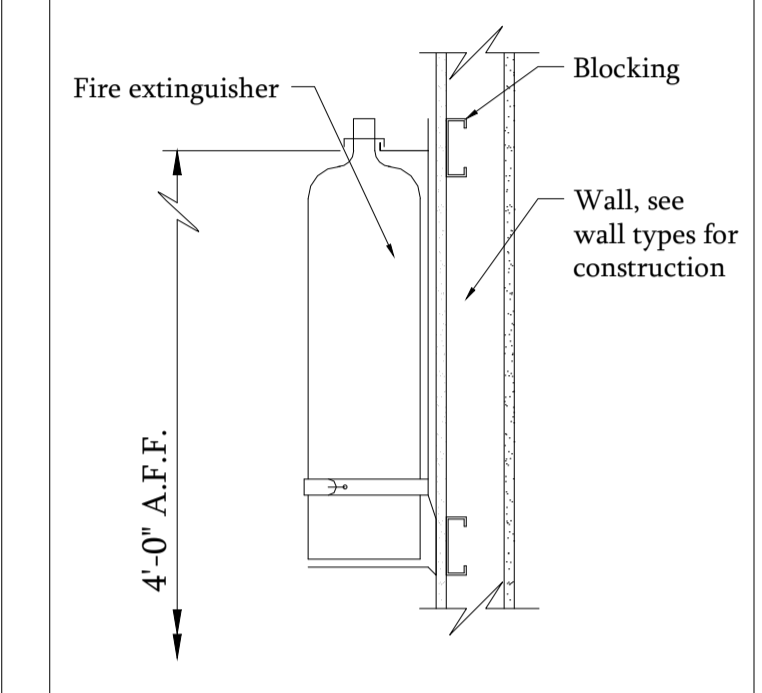


Typical Toilet Elevations Scale: 1/2" = 1'-0"



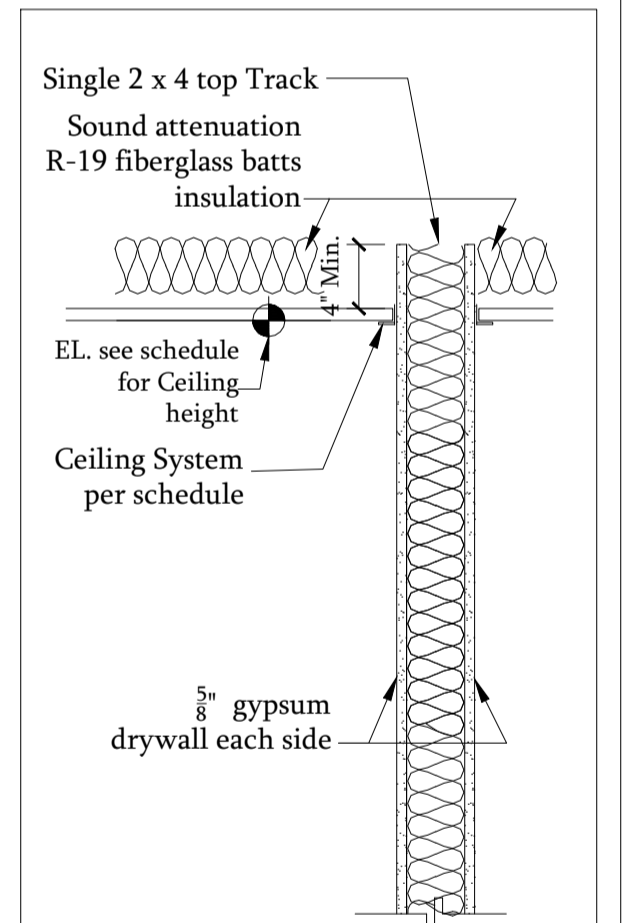
MIRROR - 1/4" Mirror with Frame. Provide S.S. Hanger as required, mount bottom of mirror at 38" above finished floor
 GRAB BARS - Bobrick (or equal) 1-1/2" Diameter Peend Non-Slip Gripping Surface with SATIN FINISH. MODEL# B-6206 42" & 36"
 PIPE GUARD - Plumbers 3021
 TOILET PAPER HOLDER - Bobrick (or equal) MODEL #B-2740
 Surface Mounted Multi-Roll Dispenser
 PAPER TOWEL DISPENSER - Bobrick (or equal) MODEL #B-2621 Surface Mounted with SATIN FINISH
 SOAP DISPENSER - Bobrick (or equal) MODEL #B-822 with SATIN FINISH

Fire Extinguisher Details

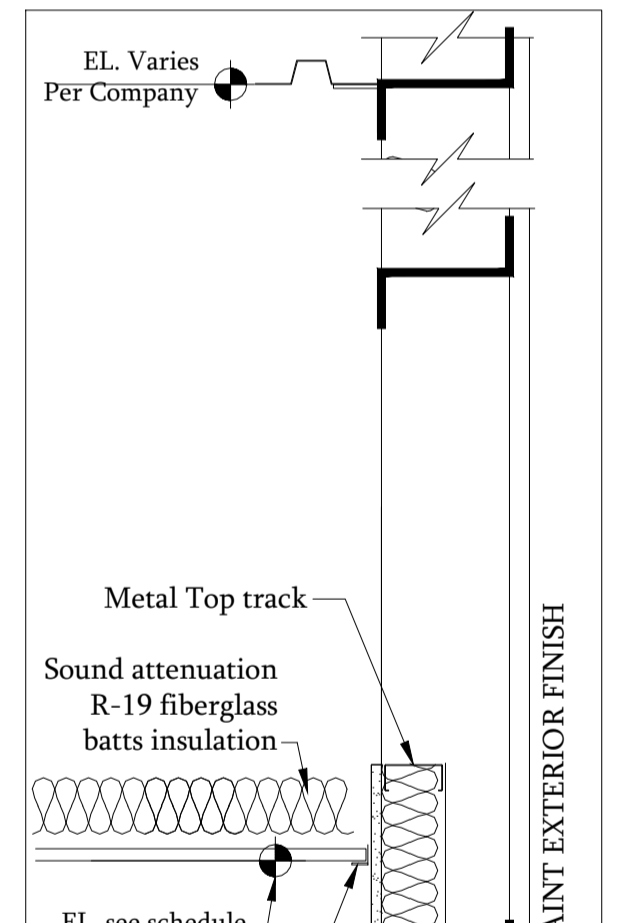


Note: Provide blocking in walls for all wall mounted accessories

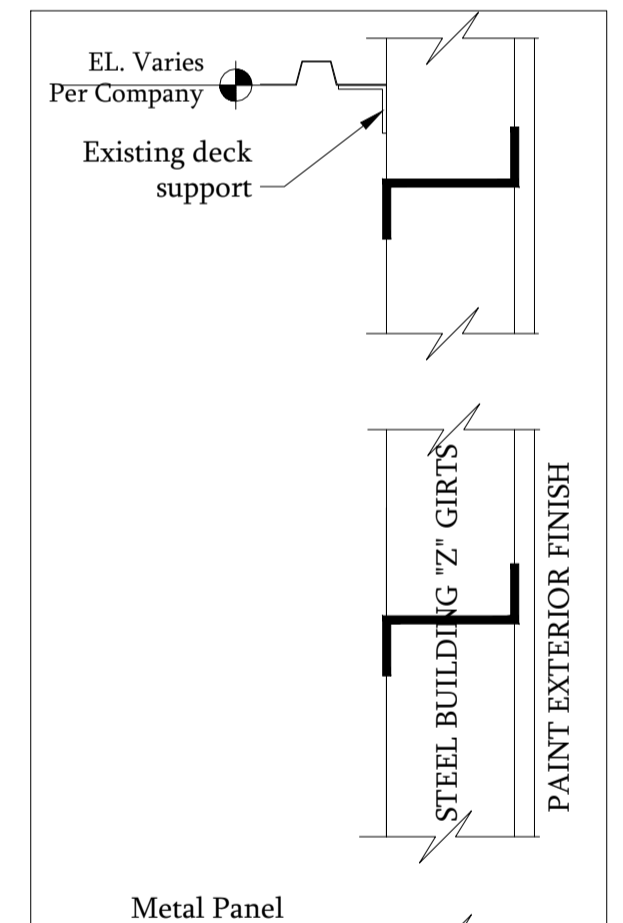
Wall Type "A" Scale: 1" = 1'-0"



Wall Type "B" Scale: 1" = 1'-0"



Wall Type "C" Scale: 1" = 1'-0"



Occupant Load Calculation
 Table 1004.5
 FBC 2020 7th Edition
 Industrial Use :- 100 SF/ Person
 Building Area :- 4000 sf
 4000 sf / 100 = 40 Person Occupant Load

Table 7.3.2.1 - NFPA 101
 General Industrial Use :- 100 SF/ Person
 Building Area :- 4000 sf
 4000 sf / 100 = 40 Person Occupant Load

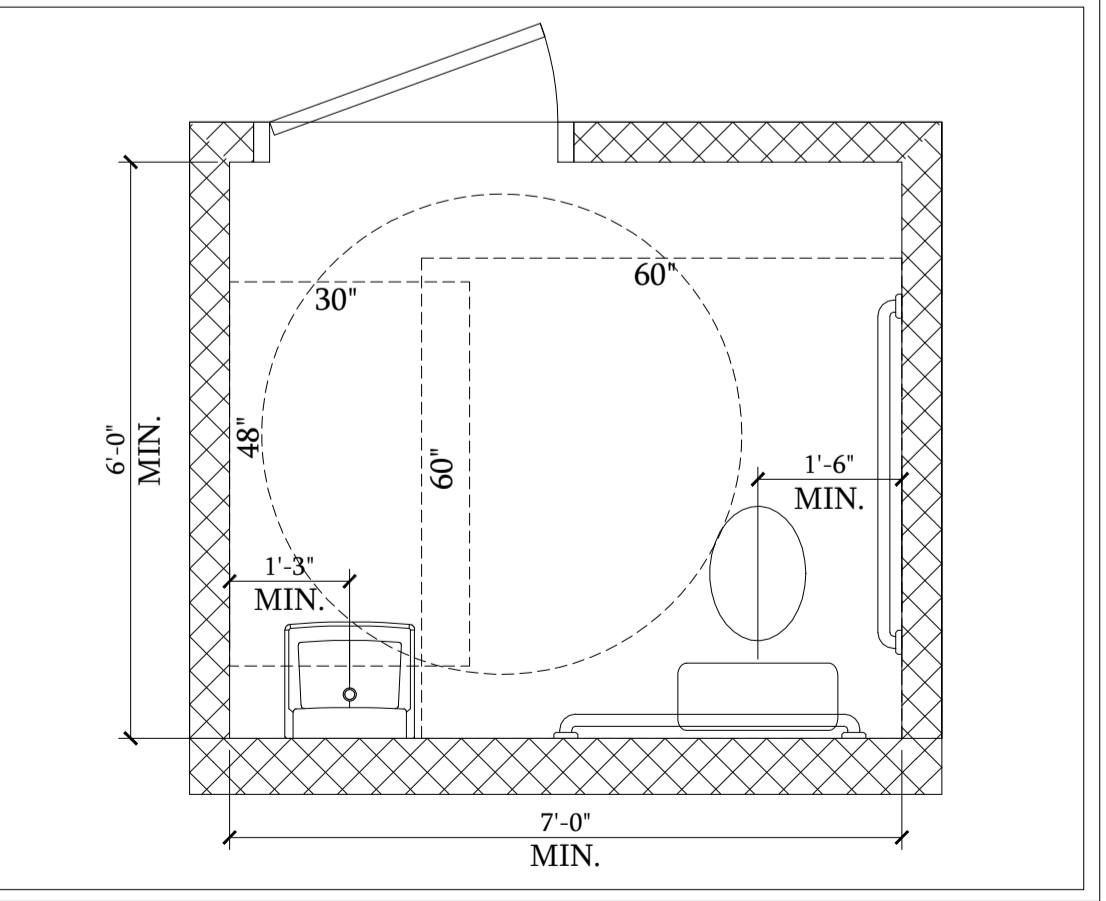
Flammable Material Note
 As per Owner Confirmation :-
 No flammable combustible material will be stored on site at any time

Fire Alarm Note
 The contractor to provide Approved fire Alarm System all through out the building. Fire Alarm System Design And Installation By Others.

Paint Booth Fire Suppression
 As per IDEAL Paint Booth Recommendation, Pro-Chem Monarch Dry Chemical Automotive Paint spray booth Fire Suppression system with 10" "PCI-35ABC" cylinder will be installed. SHOP DRAWING APPROVAL IS REQUIRED PRIOR TO INSTALLATION.

Fire Dept. Communication
 The Contractor to coordinate with Owner and Fire Marshal and provide the following. Safeguards for construction shall be in place in accordance with NFPA 1 and NFPA 241, Standard for Safeguarding Construction, Alteration, and Demolition Operations. Ensure certified fire extinguishers are properly located throughout building during construction and no smoking takes place inside the building. NFPA 1: 16.1.1
 Two way radio communication enhancement system is required (NFPA1:11.10.1). This is to ensure signal strength for Fire Department communications can be maintained during an emergency. This is determined by the local AHJ. Contact Orange County Fire Marshal for process. All rooms shall be identified to their use with signage. Signage shall be posted on wall adjacent to room. Lettering shall be minimum 1 inch in height on contrasting background. Ensure address is located at main entrance minimum 6 inches in height.

Typical Restroom Layout Scale: 1/2" = 1'-0"



Life Safety Legend

7	Wall type	Means of egress - Distance of travel
[Symbol]	Larson MP10 Fire Extinguisher - mount with top at 48" A.F.F.	
[Symbol]	Emergency light fixture with battery backup - wall mounted	
[Symbol]	Exit sign - ceiling mounted (directional arrow optional)	
[Symbol]	Exit sign - wall mounted (directional arrow optional)	
[Symbol]	Exit sign / Emergency light combo - ceiling mounted (directional arrow optional)	
[Symbol]	Exit sign / Emergency light combo - wall mounted (directional arrow optional)	

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	07/08/21	N.GAJJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	04/21/22	N.GAJJAR	3RD REVIEW COUNTY COMMENTS - MECH & FIRE	GC/OWNER
3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

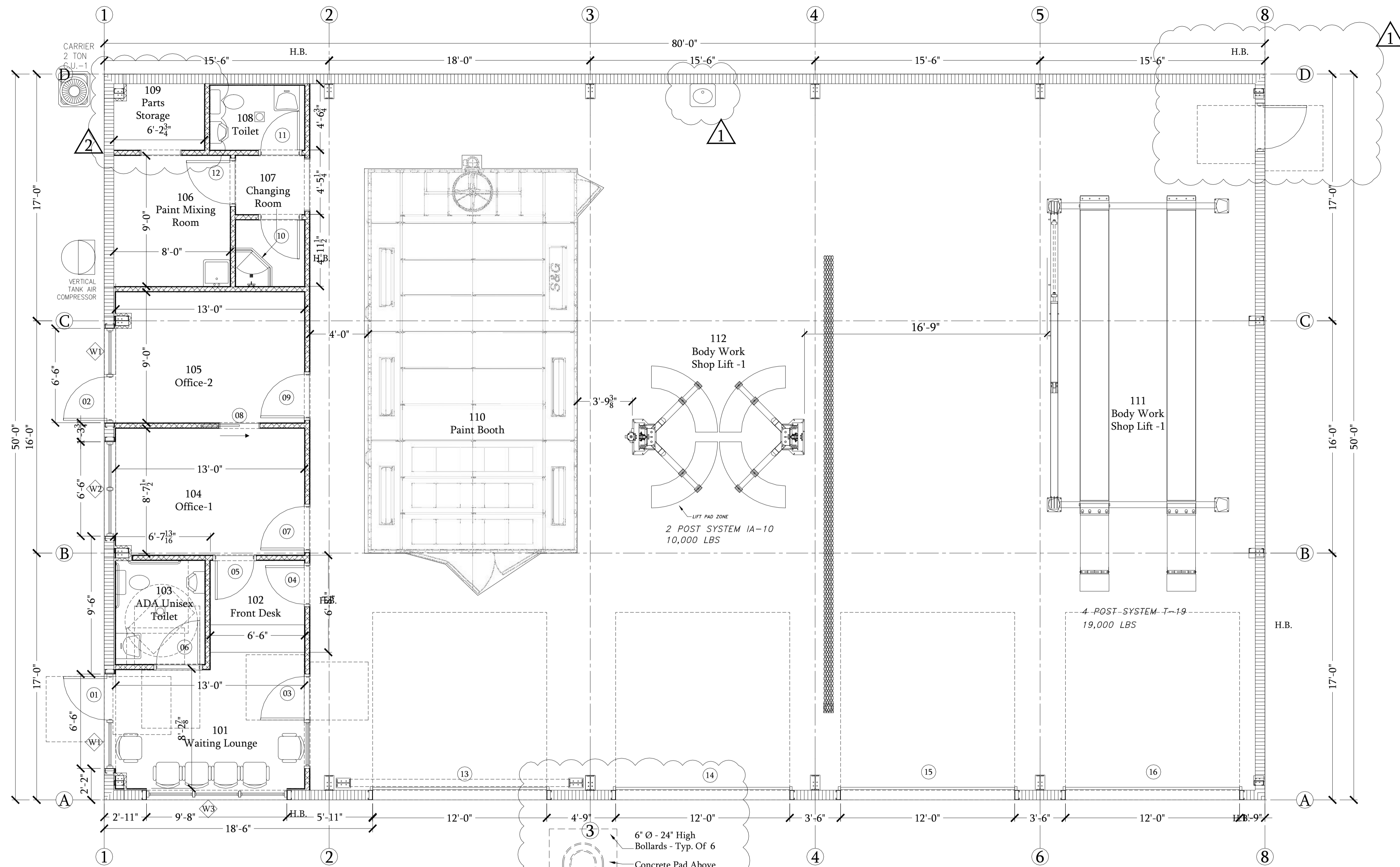
NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
 506 W LANCASTER ROAD ORLANDO FL 32809
 LIFE SAFETY PLAN - FIRE SPRINKLER NOTE
 WALL TYPES - OCCUPANT LOAD CALCULATION

LS1
 DRAWING NO

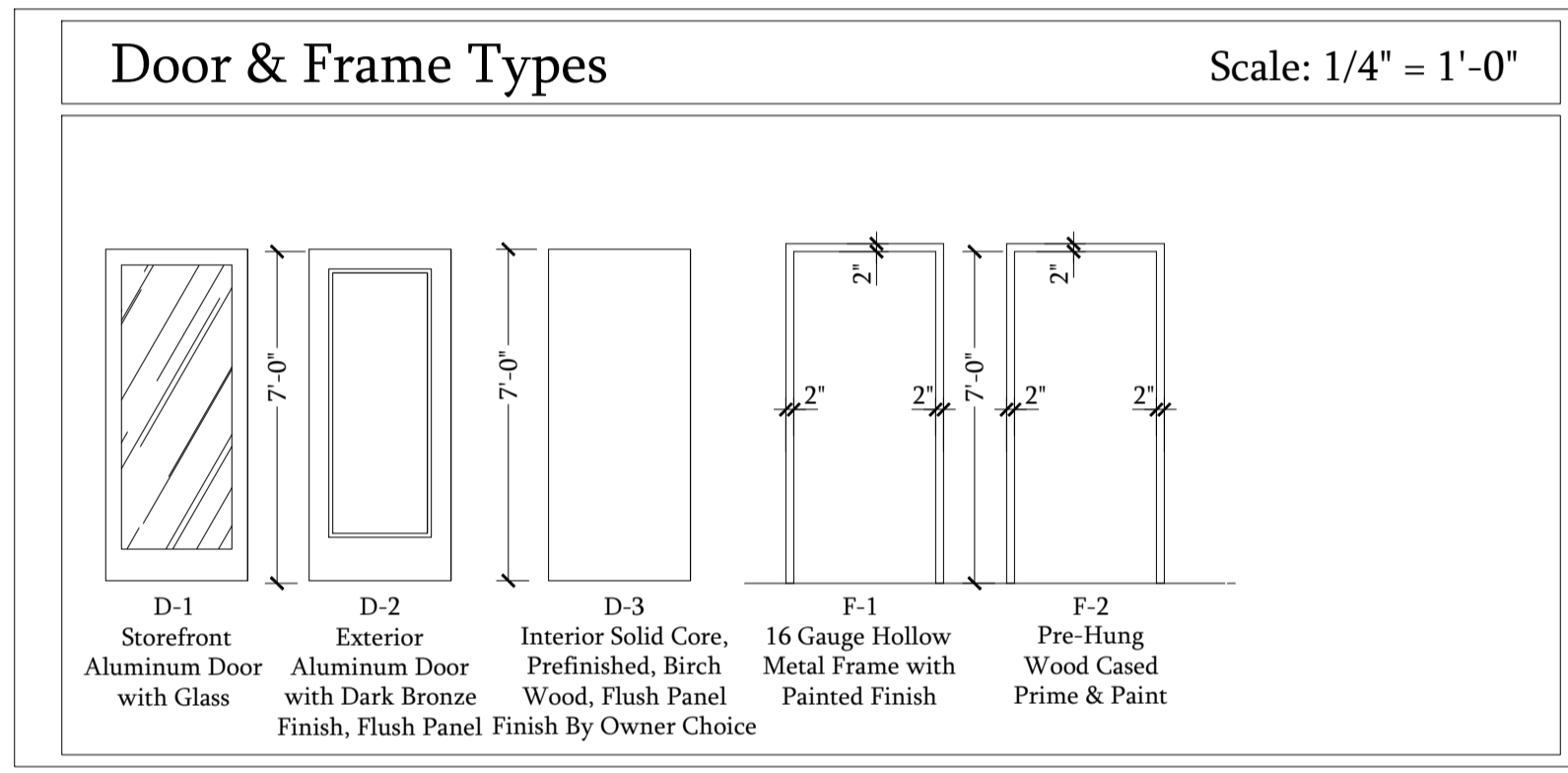
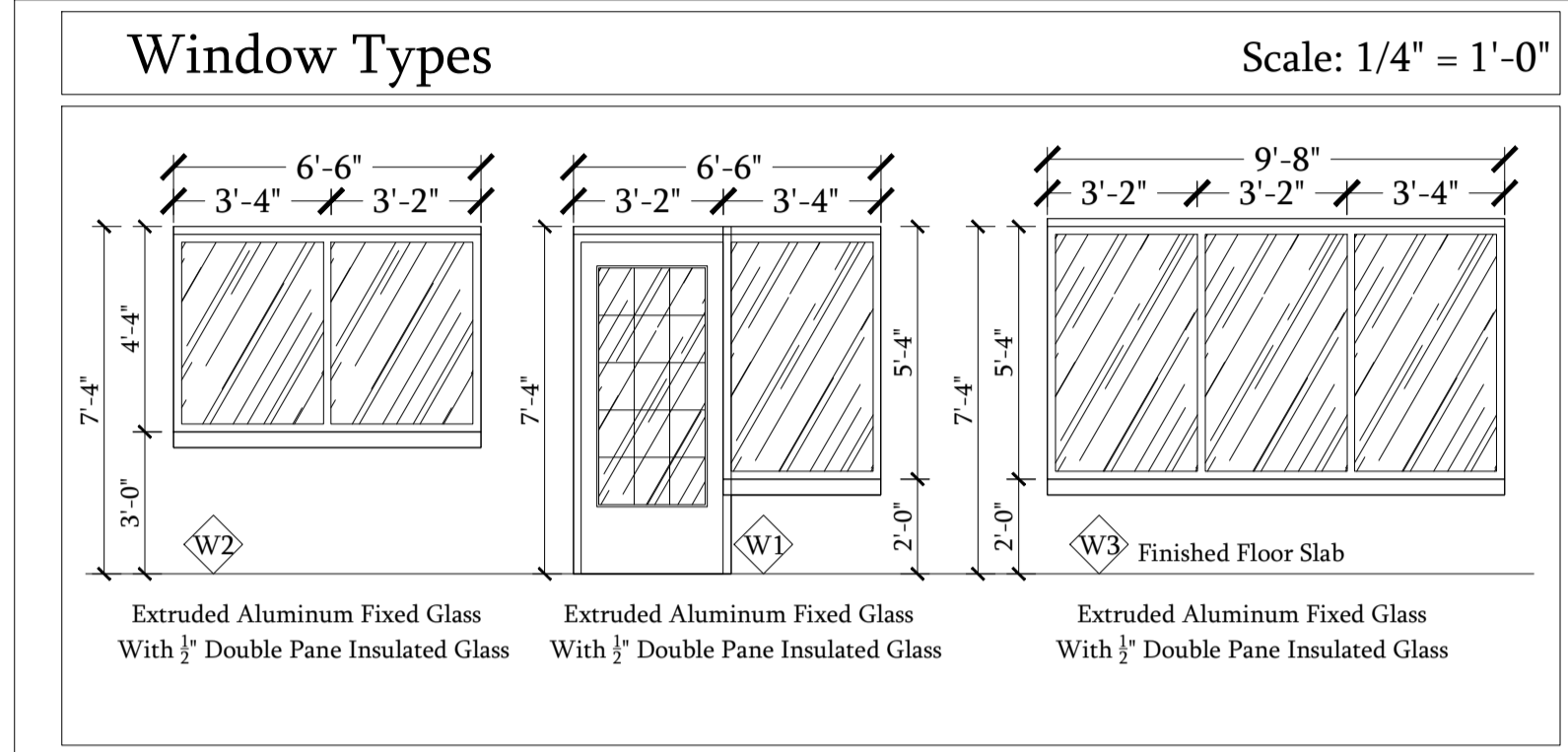
SHEET NO: 2
 OF SHEETS: 14
 DATE: 12/12/20
 SCALE: AS NOTED
 JOB NO. SKW-LN-1
 DESIGN BY: N.GAJJAR
 CHECKED BY: R.HAUG
 REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG PE
 I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.
ROBERT T. HAUG, P.E. # 24575
 000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed by Robert T. Haug
 Date: 2022.06.06 12:10:55 -04'00'
 CONTRACTOR COPY FOR SUBMITTAL



Floor Plan
Scale: 1/4" = 1'-0"



- Hardware Notes** Or Approved Equal
- All exterior hardware shall have a NOA from Florida Building Code for hurricane egress.
 - Interior hardware on fire rated doors to meet NFPA 80 standards.
 - Hinges: Exterior - Stainless Steel Ball Bearing S2D
Interior - Steel Based brushed chrome 26D
 - Locksets: Exterior - Mortise Locks
Interior - Grade 2 Lever Cylindrical Sargent 8200 series mortise
Sargent 7 Line L Lever Design
Schlage L Series mortise
Schlage AL Series Sargent Lever Design
 - Exit Devices: Grade 1
Sargent 80 Series
Von Duprin 99 Series
 - Closers: Grade 1 - ADA Compliant - Aluminum
Sargent 1331 Series
LCN 1461 Series
 - Thresholds / Weatherstriap Pemko See Schedule

Doors

Schedule	#	Size	F.P.A.	Door Type	Frame Type	Jamb	Hardware	Notes
	01	3'-0" x 7'-0"	-	MG D1	F3	PH F1	PH H-11.2	
	02	3'-0" x 7'-0"	-	MG D1	F1	PH F1	PH H-11.2	
	03	3'-0" x 7'-0"	-	WD D3	F2	PH F2	PH H-33	
	04	2'-8" x 7'-0"	-	WD D1	F2	PH F2	PH H-33	
	05	2'-8" x 7'-0"	-	WD D3	F2	PH F2	PH H-33	
	06	3'-0" x 7'-0"	-	WD D3	F2	PH F2	PH H-33	
	07	3'-0" x 7'-0"	-	WD D3	F2	PH F2	PH H-33	
	08	3'-0" x 7'-0"	-	WD D3	F2	PH F2	PH H-35	
	09	3'-0" x 7'-0"	-	WD D3	F2	PH F2	PH H-33	
	10	2'-8" x 7'-0"	-	WD D3	F2	PH F2	PH H-33	
	11	2'-8" x 7'-0"	-	WD D3	F2	PH F2	PH H-33	
	12	3'-0" x 7'-0"	-	WD D3	F2	PH F2	PH H-33	
	13	12'-0" x 12'-0"	-	-	-	-	-	4
	14	12'-0" x 12'-0"	-	-	-	-	-	4
	15	12'-0" x 12'-0"	-	-	-	-	-	4
	16	12'-0" x 12'-0"	-	-	-	-	-	4
	17	3'-0" x 7'-0"	-	WD D3	F2	PH F2	PH H-33	

Hardware Set H-1

ITEM	QTY	DESCRIPTION	FINISH	MANUFACTURER
Hinge	3	TA2314 4.5 x 4.5	US32D	McKinney
Rim Exit	1	HCSF 8813 x 713-8 ETL	S2D	Sargent
Cylinder	1	255	26D	Sargent
Closer	1	1331-JP9 x 90 DEG	EN	Sargent
Kickplate	1	1905 8" x 34"	US32D	Hager Hinge Co.
Wall Stop	1	255	US32D	Hager
Exit Saddle Thr.	1	2005AV36	A	Pemko
Gasketing	1	303AV3684	A	Pemko
Silencer	1	307D	Grey	Hager

Hardware Set H-2

ITEM	QTY	DESCRIPTION	FINISH	MANUFACTURER
Hinge	6	TA2314 4.5 x 4.5	US32D	McKinney
Rim Exit	1	HCSF 8813 x 713-8 ETL	S2D	Sargent
Cylinder	1	254	26D	Sargent
Closer	2	1331-JP9 x 90 DEG	EN	Sargent
Kickplate	2	1905 8" x 34"	US32D	Hager Hinge Co.
Wall Stop	2	255	US32D	Hager
Exit Saddle Thr.	1	2005AV36	A	Pemko
Gasketing	1	303AV3684	A	Pemko
Silencer	1	307D	Grey	Hager

Hardware Set H-3

ITEM	QTY	DESCRIPTION	FINISH	MANUFACTURER
Hinge	3	TA2314 4.5 x 4.5	US26D	McKinney
Round Dead Lock	1	10-485	26D	Sargent
Wall Stop	1	236W	US26D	Hager
Silencer	3	307D	Grey	Hager

Finish of Surfaces

Schedule	Room	Description	North Wall	South Wall	West Wall	Floor	Base	Ceiling	Height	Notes
	101	Waiting Lounge	GP	GP	GP	GP	CT	VT	AT	9'-0"
	102	Front Desk	GP	GP	GP	GP	CT	VT	AT	9'-0"
	103	Unisex Toilet - 1	GP	GP	GP	GP	CT	VT	AT	9'-0"
	104	Office - 1	GP	GP	GP	GP	CT	VT	AT	9'-0"
	105	Office - 2	GP	GP	GP	GP	CT	VT	AT	9'-0"
	106	Paint Mixing Rm	ES	GP	GP	GP	CT	VT	AT	9'-0"
	107	Changing Room	GP	GP	GP	GP	CT	VT	AT	9'-0"
	108	Employee Toilet	GP	GP	GP	GP	CT	VT	AT	9'-0"
	109	Parts Store	ES	ES	GP	GP	CT	VT	AT	9'-0"
	110	Paint Booth	ES	ES	ES	ES	ES	ES	ES	MX
	111	4-Post Frame	ES	ES	ES	ES	ES	ES	ES	MX
	112	2-Post Lift	ES	ES	ES	ES	ES	ES	ES	MX
	113	A.H.U. Closet	ES	ES	GP	GP	VT	VT	ES	MX
	114	Mezzanine Deck	ES	ES	ES	ES	ES	ES	ES	MX

Legend:
 WD Wood, painted | GP Gypsum Board, Painted
 ES Exposed structure, painted, MP Masonry Painted
 CR Carpet-Pad/TBD Owner, VT Vinyl Composite Tile
 CT Ceramic tile TBD Owner | LV Luxury Vinyl Planks

Floor Plan Legend

- Exterior wall
- Interior stud wall
- New door marker
- New window marker
- Wall type

Furniture and Cabinet Note

All furniture including chairs tables and other specials, are by choice of owner and by others. Contractor to coordinate with owner for installing owner provided items. All cabinets are as per choice of owner by others, the cabinet provider to coordinate with plan and field verifications as built dimensions before making shop drawings for cabinets. A chair molding to be provided in each room 30" A.F.F. (design by choice of owner)

General Notes

Stucco will be 3/4" thick painted surface. Mezzanine will have access Ladder. All walls will have wood base board. Chair railings will also be wood. Storage closets will have free-standing wire shelves that Owner will provide. Front desk design shall be by others with choice of owner

Site Work Note

The contractor to coordinate with civil engineering drawings and provide the following:
 (1) 6" Ø Bollard Between Each Bay Doors and adjacent to building side walk.

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3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
 506 W LANCASTER ROAD ORLANDO FL 32809
FLOOR PLAN, DOOR WINDOWS FINISHES AND DETAILS

A1
DRAWING NO

REVISION

1 NORTH
2 REVISION

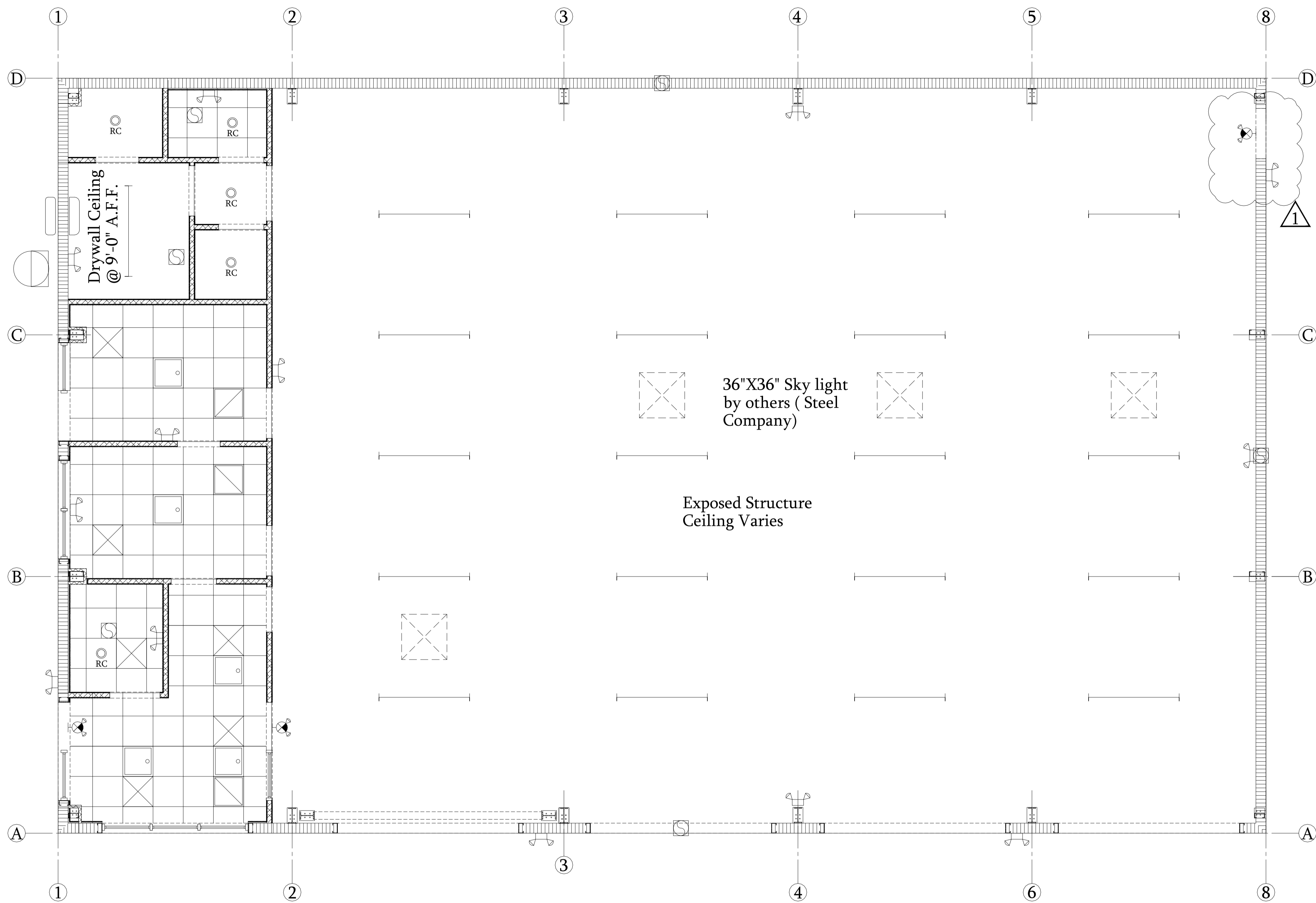
SHEET NO: 4
 OF SHEETS: 14
 DATE: 12/12/20
 SCALE: AS NOTED
 JOB NO. SKW-LN-1
 DESIGN BY: N.GAJAR
 CHECKED BY: R.HAUG.
 REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG P.E.
 I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

ROBERT T. HAUG, P.E. # 24575
 000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

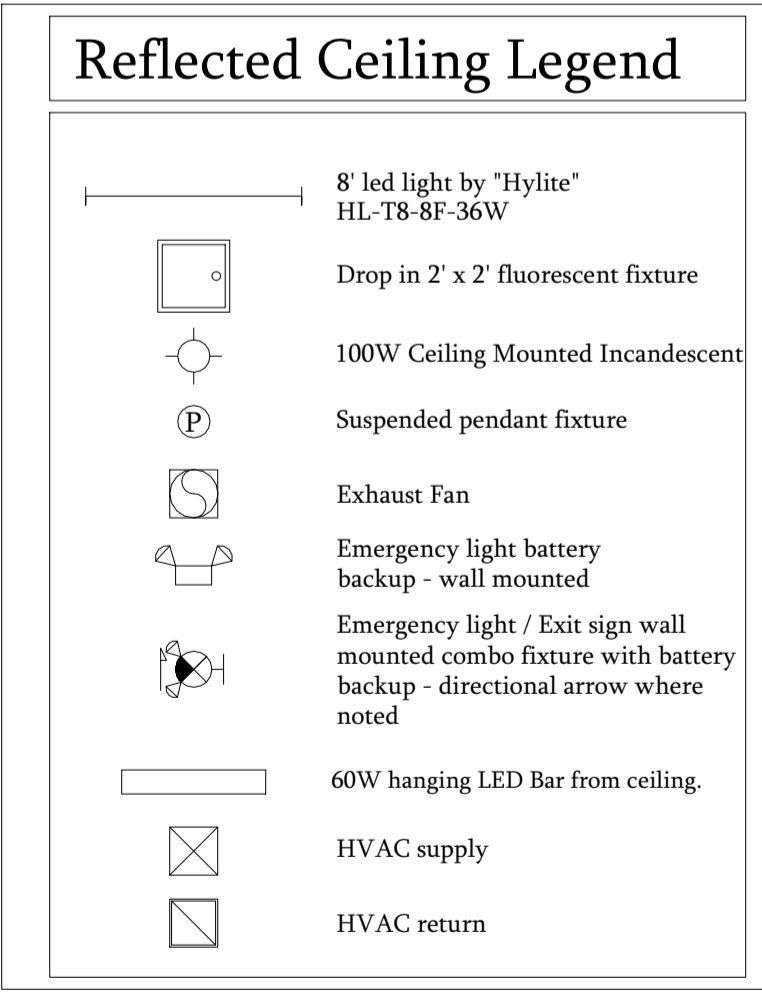
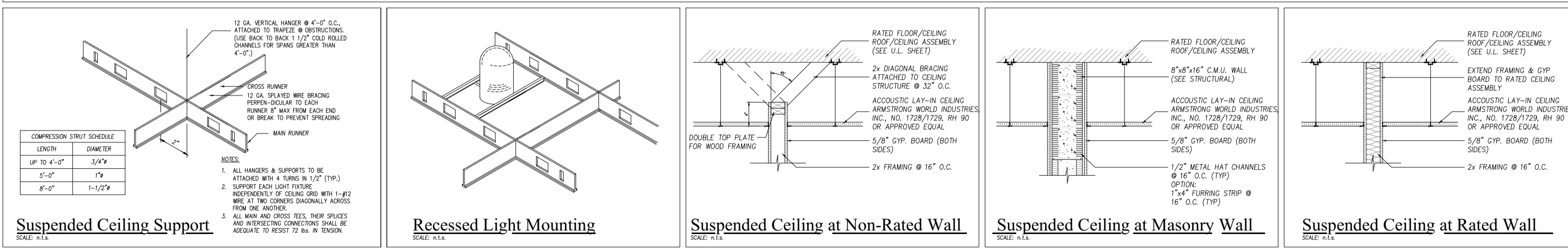
Digitally signed by Robert T. Haug
 Date: 2022.06.06 12:13:23 -04'00'

CONTRACTOR COPY FOR SUBMITTAL



0' 2' 4' **Reflected Ceiling Plan**
Scale: 1/4" = 1'-0"

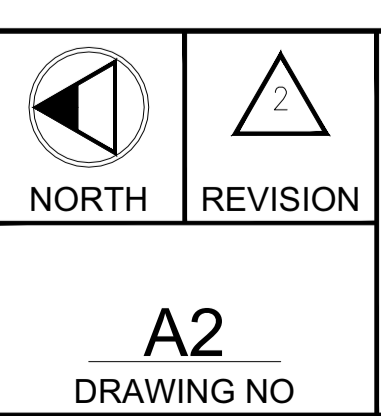
Ceiling Details N.T.S.



NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
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4	00/00/00	---	---	---
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6	00/00/00	---	---	---
7	00/00/00	---	---	---

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
REFLECTED CEILING PLAN, DETAILS
MEZZANINE FLOOR PLAN

A2
DRAWING NO



SHEET NO: 5
 OF SHEETS: 14
 DATE: 12/12/20
 SCALE: AS NOTED
 JOB NO. SKW-LN-1
 DESIGN BY: N.GAJJAR
 CHECKED BY: R HAUG

DESIGN REVIEW BY: ROBERT T HAUG PE
 I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

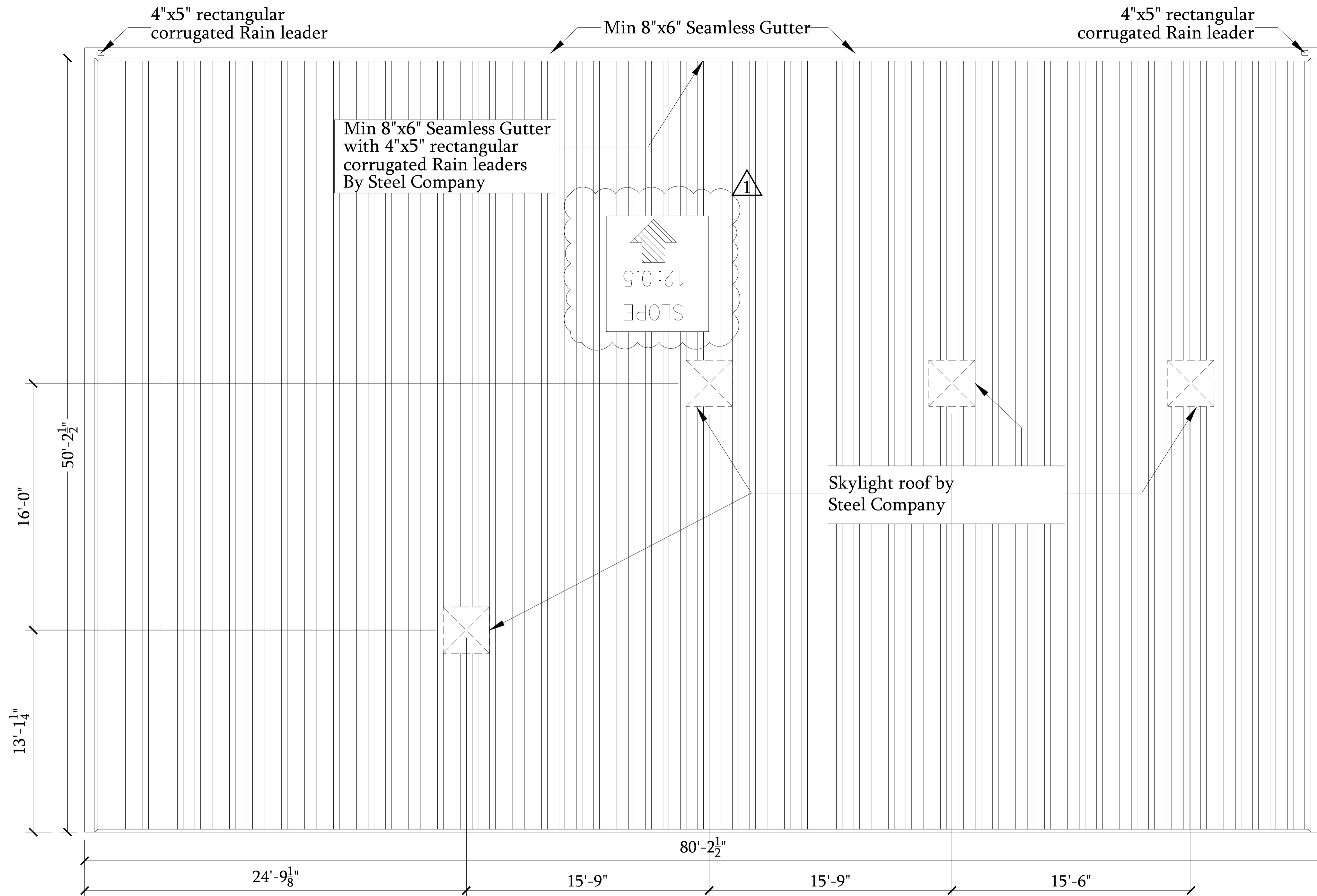
ROBERT T. HAUG,
P.E. # 24575
 000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed
 Orange County
 Division of Building Safety
 Robert T. Haug
 Date: 2022.06.06 12:14:21 -04'00'

Escrowment of any part of this property. Keep this plan on the job site at all times.

CONTRACTOR COPY FOR SUBMITTAL

DATE, SIGN, & SEAL



Roof Plan
Scale: 1/4" = 1'-0"

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
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3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
ROOF PLAN AND DETAILS
MEZZANINE FLOOR JOIST PLAN

A3
DRAWING NO

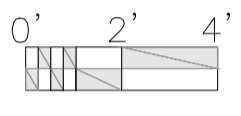
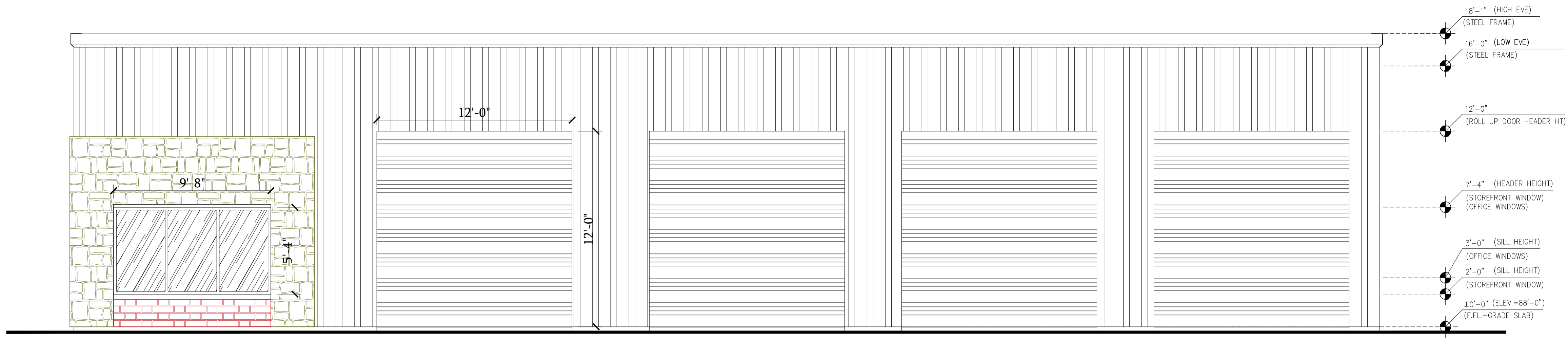
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 OF SHEETS: 14
 DATE: 12/12/20
 SCALE: AS NOTED
 JOB NO. SKW-LN-1
 DESIGN BY: N.GAJJAR
 CHECKED BY: R.HAUG
 REMARKS: ---

DESIGN REVIEW BY: ROBERT T HAUG P.E.
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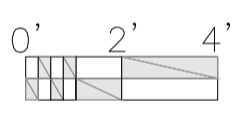
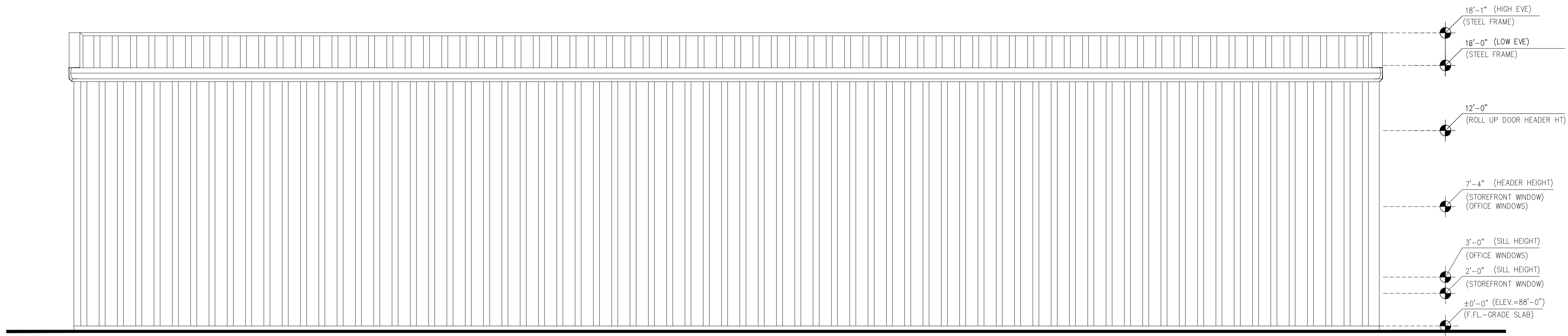
ROBERT T. HAUG,
P.E. # 24575
 000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed by Robert T. Haug
 Date: 2022.06.06 12:15:36 -04'00'

ROBERT T. HAUG
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 P.E. # 24575 B21909235



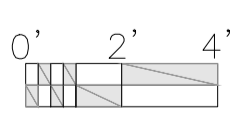
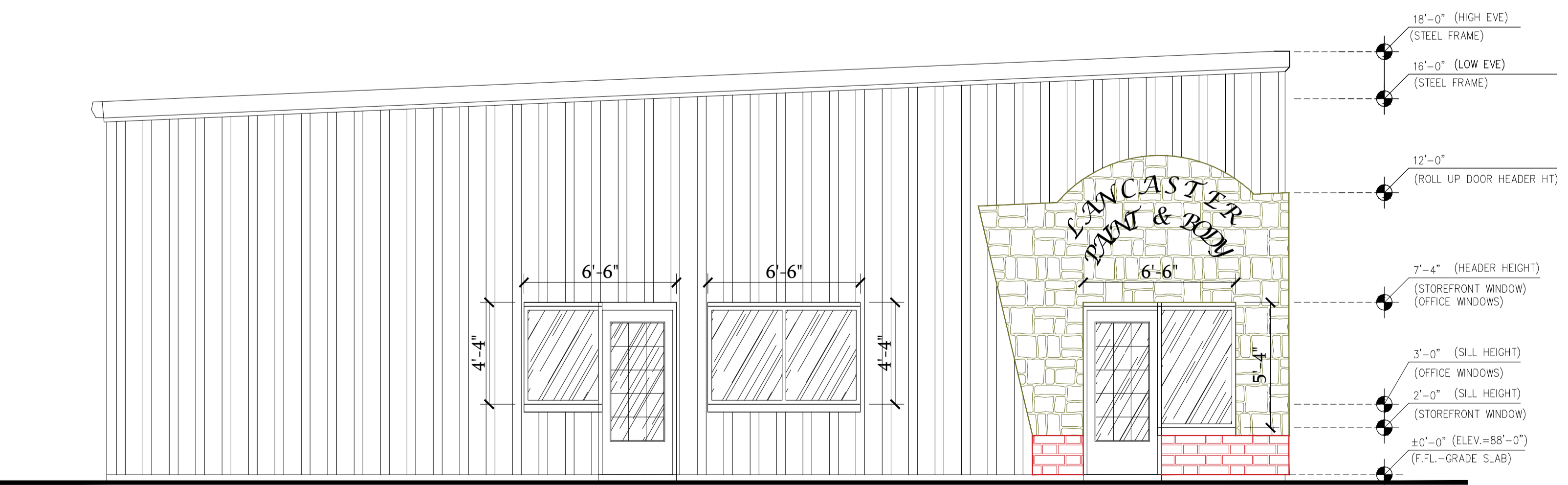
Front Elevation
Scale: 1/4" = 1'-0"



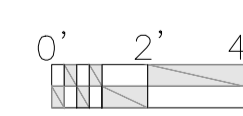
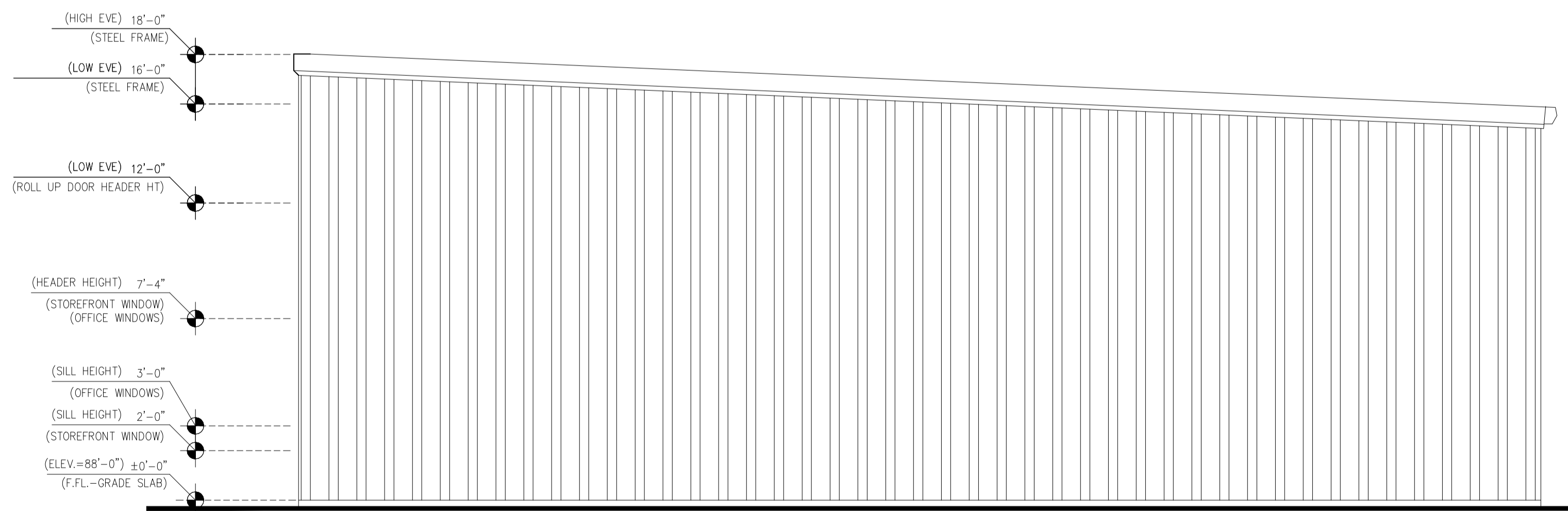
Rear Elevation
Scale: 1/4" = 1'-0"

Exterior Finish Legend	
	EF-1 Painted Metal Panels (Texture-1)
	EF-2 Colored / Textured "King Span" Panels -Stucco Finish (Texture-2)
	EF-3 Colored / Textured "King Span" Panels -Stucco Finish (Texture-3)
	EF-4 Colored / Textured Stucco (Texture-4)

All Exterior stucco finishes shall be coordinated with owner for texture and color. All Stucco joints shall have aluminum reveal.



North Side Elevation
Scale: 1/4" = 1'-0"



South Side Elevation
Scale: 1/4" = 1'-0"

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	09/08/21	N GAJJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	00/00/00	---	---	---
3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
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NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
BUILDING ELEVATIONS 1
EXTERIOR FINISH LEGEND

North arrow pointing left and a revision symbol (triangle with '2').

North arrow pointing left and a revision symbol (triangle with '2').

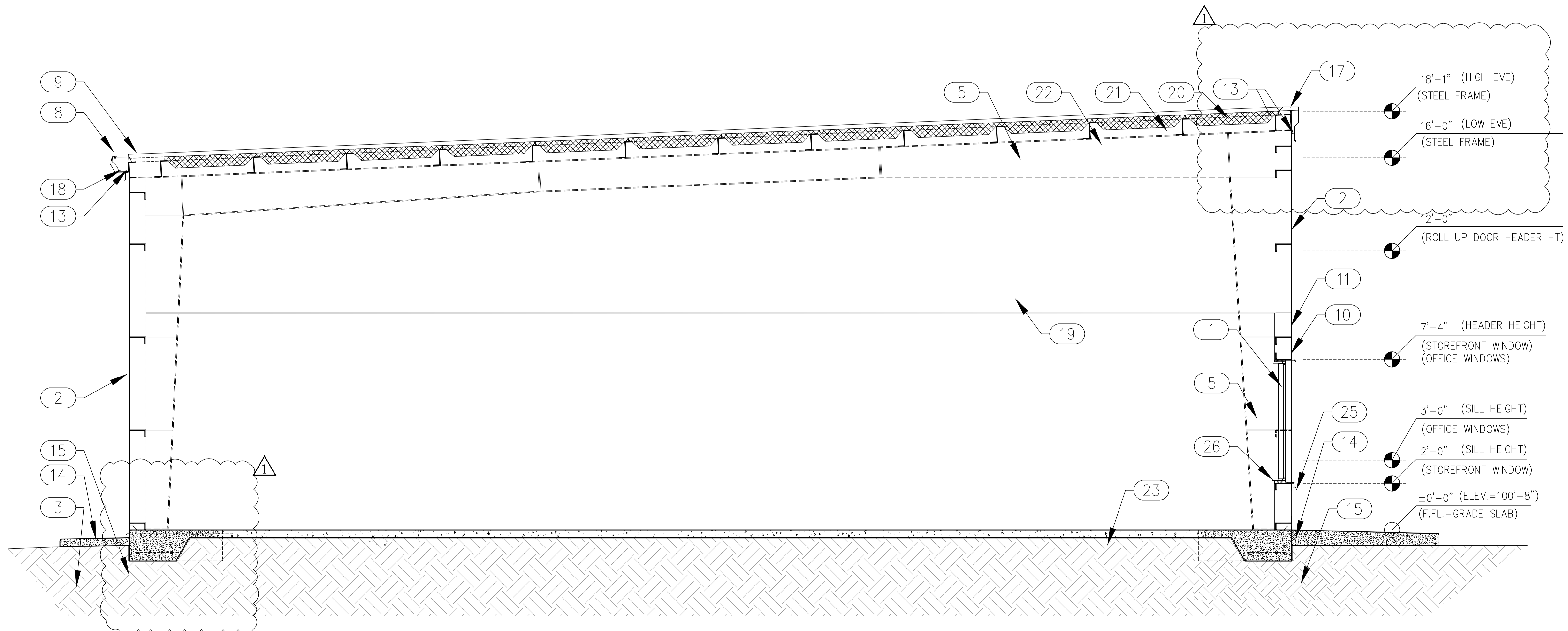
SHEET NO: 7
OF SHEETS: 14
DATE: 12/12/20
SCALE: AS NOTED
JOB NO. SKW-LN-1
DESIGN BY: N.GAJJAR
CHECKED BY: R. HAUG
REMARKS: ---

Professional seal for Robert T. Haug, P.E. # 24575, State of Florida, Registration No. B21902285. Date: 2022.06.06 12:16:30 -04'00'. Includes a circular seal with the text 'ROBERT T. HAUG REGISTERED PROFESSIONAL ENGINEER STATE OF FLORIDA'.

CONTRACTOR COPY FOR SUBMITTAL

DATE, SIGN, & SEAL

- ① APPROVED P.G.T. OR EQUAL FIX GLASS WINDOWS
- ② METAL PANEL SHEATHING AS PER STEEL COMPANY
- ③ APPROX FINISH GRADE TO SLOPE AWAY FROM BUILDING
- ④ SEE A1 FOR DOOR SCHEDULE
- ⑤ 21' HIGH X 50'-0" LONG RIGID STEEL FRAME (NUCOR OR EQ.)
- ⑧ MTL GUTTER W/ COVER BY STEEL COMPANY
- ⑨ MTL SIDE COVER FOR ROOF BY STEEL COMPANY
- ⑫ PROVIDE REQUIRED SIZE SCUPPER
- ⑬ MTL EDGE - COUNTER FLASHING
- ⑭ 4" WIDE CONC. PAD
- ⑮ 12"x24" CONC. FOOTING SEE S01 FOR DETAIL
- ⑯ 8"x16" PRE STRESSED LINTEL/ CASTCRETE OR EQ.
- ⑰ MTL HIGH EVE COVER FOR ROOF BY STEEL COMPANY
- ⑱ 4"x6" METAL RAIN LEADER TIE DN TO WALL W/ STRIPS.
- ⑲ 2"x2' LAY IN CEILING - IN OFFICE AREA
- ⑳ MTL ROOF BY STEEL COMPANY
- ㉑ ROOF INSULATION PER STEEL COMPANY DETAIL.
- ㉒ 2" PERLINS @ 48" OC W/ APPROVED FASTENERS BY STEEL COMPANY
- ㉓ 4"-3000 PSI CONC. GRADE SLAB SEE S01 FOR DETAILS.
- ㉔ NOT ASSIGNED
- ㉕ METAL SILL AS PER STEEL COMPANY
- ㉖ MARBLE SILL



0' 1' 2' **Building Cross section**
Scale: 1/2" = 1'-0"

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	09/08/21	N GAJJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	00/00/00	---	---	---
3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

**NEW PAINT & BODY SHOP BUILDING FOR
SKW INVESTMENTS INC.
500 W LANCASTER ROAD ORLANDO FL 32809
BUILDING CROSS SECTION
NOTES**

NORTH
 REVISION
A5
 DRAWING NO

SHEET NO: 8
 OF SHEETS: 14
 DATE: 12/12/20
 SCALE: AS NOTED
 JOB NO. SKW-LN-1
 DESIGN BY: N.GAJJAR
 CHECKED BY: R.HAUG.
 REMARKS: ---

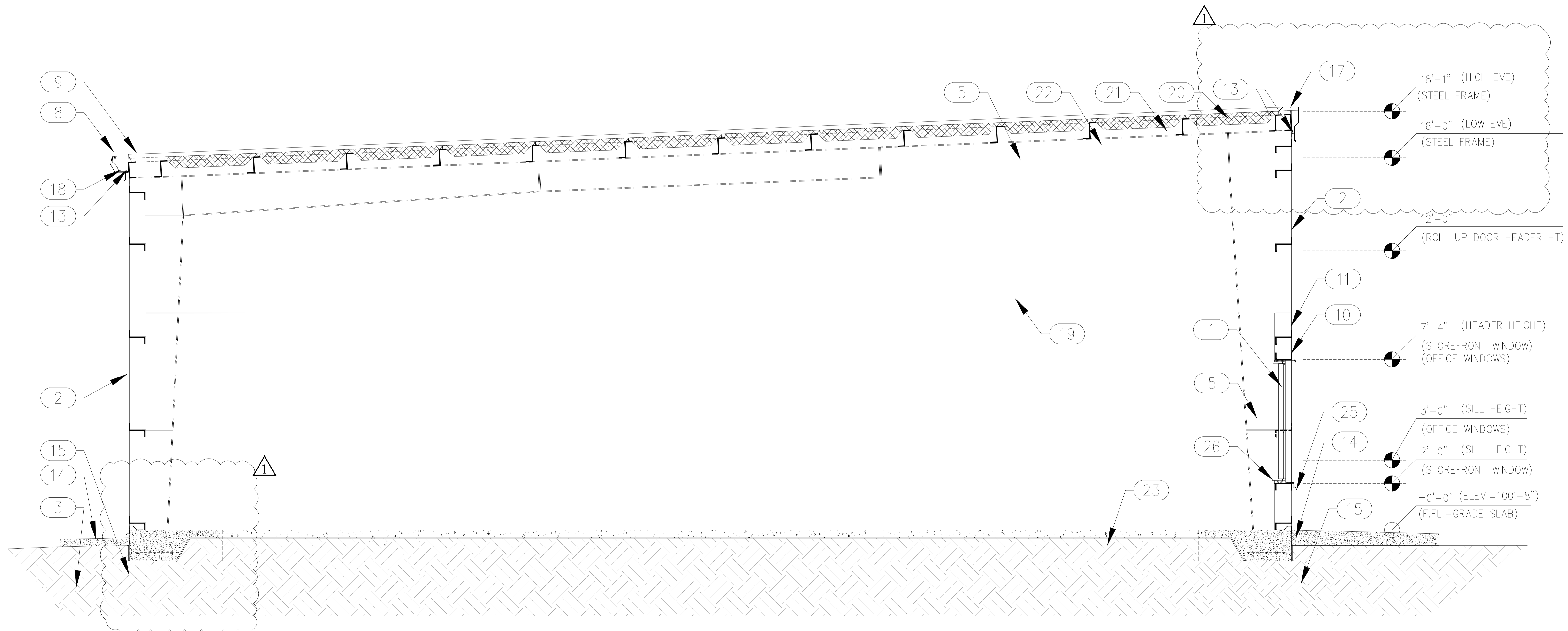
DESIGN REVIEW BY: ROBERT T HAUG P.E.
 VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.
ROBERT T. HAUG,
P.E. # 24575
 000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed by Robert T. Haug
 Date: 2021.10.06 09:50:14 -04'00'
 State of Florida Professional Engineer License # 24575

CONTRACTOR COPY FOR SUBMITTAL

DATE, SIGN, & SEAL

- ① APPROVED P.G.T. OR EQUAL FIX GLASS WINDOWS
- ② METAL PANEL SHEATHING AS PER STEEL COMPANY
- ③ APPROX FINISH GRADE TO SLOPE AWAY FROM BUILDING
- ④ SEE A1 FOR DOOR SCHEDULE
- ⑤ 21' HIGH X 50'-0" LONG RIGID STEEL FRAME (NUCOR OR EQ.)
- ⑧ MTL GUTTER W/ COVER BY STEEL COMPANY
- ⑨ MTL SIDE COVER FOR ROOF BY STEEL COMPANY
- ⑫ PROVIDE REQUIRED SIZE SCUPPER
- ⑬ MTL EDGE - COUNTER FLASHING
- ⑭ 4" WIDE CONC. PAD
- ⑮ 12"x24" CONC. FOOTING SEE S01 FOR DETAIL
- ⑯ 8"x16" PRE STRESSED LINTEL/ CASTCRETE OR EQ.
- ⑰ MTL HIGH EVE COVER FOR ROOF BY STEEL COMPANY
- ⑱ 4"x6" METAL RAIN LEADER TIE DN TO WALL W/ STRIPS.
- ⑲ 2"x2" LAY IN CEILING - IN OFFICE AREA
- ⑳ MTL ROOF BY STEEL COMPANY
- ㉑ ROOF INSULATION PER STEEL COMPANY DETAIL.
- ㉒ 2" PERLINS @ 48" OC W/ APPROVED FASTENERS BY STEEL COMPANY
- ㉓ 4"-3000 PSI CONC. GRADE SLAB SEE S01 FOR DETAILS.
- ㉔ NOT ASSIGNED
- ㉕ METAL SILL AS PER STEEL COMPANY
- ㉖ MARBLE SILL



Building Cross section
Scale: 1/2" = 1'-0"

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	09/08/21	N GAJJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	00/00/00	---	---	---
3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
BUILDING CROSS SECTION NOTES

A5
DRAWING NO

REVISION

REVISION

REVISION

SHEET NO: 8
OF SHEETS: 14
DATE: 12/12/20
SCALE: AS NOTED
JOB NO. SKW-LN-1
DESIGN BY: N.GAJJAR
CHECKED BY: R. HAUG
REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG P.E.
I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

ROBERT T. HAUG, P.E. # 24575
000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed by Robert T Haug
Date: 2022.06.06 12:19:27 -04'00'

CONTRACTOR COPY FOR SUBMITTAL

W. LANCASTER ROAD

DEVELOPMENT DESIGN NOTE :-
 THE DRAINAGE FACILITIES ARE DESIGNED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE "LAND DEVELOPMENT CODE" OF ORANGE COUNTY, AND THAT THE ADJACENT PROPERTIES WILL BE PROTECTED FROM STORM WATER DAMAGE AS A RESULT OF THE PROPOSED DEVELOPMENT, AND THAT THE DRAINAGE FACILITIES INCORPORATED HEREON ARE ADEQUATE AND A PLAN TO THE APPROPRIATE WATER MANAGEMENT DISTRICT IS SUBMITTED.
 THE DESIGN IS BASED ON OCJ MANUAL 2021



LOCATION MAP
N.T.S.

SITE DATA TABLE
500 W. LANCASTER ROAD
ORLANDO, FLORIDA 32809
PARCEL ID# 26-23-29-0000-00-111

LEGAL DESCRIPTION:
 THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 26, TOWNSHIP 23 SOUTH, RANGE 29 EAST, LESS THE EAST 280 FEET THEREOF AND LESS THE WEST 230 FEET THEREOF, ORANGE COUNTY, FLORIDA, LESS AND EXCEPT ROAD RIGHT OF WAY AND THOSE PORTIONS CONVEYED TO ORANGE COUNTY, FLORIDA RECORDED IN OR. BOOK 5348, PAGE 703 AND OR. BOOK 5464, PAGE 2266, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FLOOD ZONE: X
FIRM NO. #12095C 0430F
REVISED MAP: SEPTEMBER 25, 2009

PROJECT SUMMARY & SITE DATA	EXISTING	PROPOSED NEW
TOTAL BUILDING AREA	3,456 SF (7.8%)	4,000 SF 7,456 SF (16.8%)
TOTAL GROSS FLOOR AREA	4,356 SF (9.5%)	4,000 SF 8,356 SF (18.8%)
TOTAL ASPHALT	10,516 SF (23.6%)	6,923 SF 10,981 SF (24.7%)
TOTAL CONC	7,550 SF (17.4%)	1,995 SF 9,545 SF (21.5%)
TOTAL IMPERVIOUS AREA	22,422 SF (50.5%)	4,976 SF 28,882 SF (65.0%)
TOTAL GREEN AREA	22,013 SF (49.5%)	5,291 SF 15,553 SF (35.0%)
TOTAL PROJECT AREA	44,435 SF/1.02 AC	

ASPHALT AREA : EXISTING 10,516 SF - DEMO 6,458 SF = EXISTING 4,058 SF
 NEW ASPHALT AREA : EXISTING TO STAY 4,058 SF+ PROP. 6,923 SF = 10,981 SF

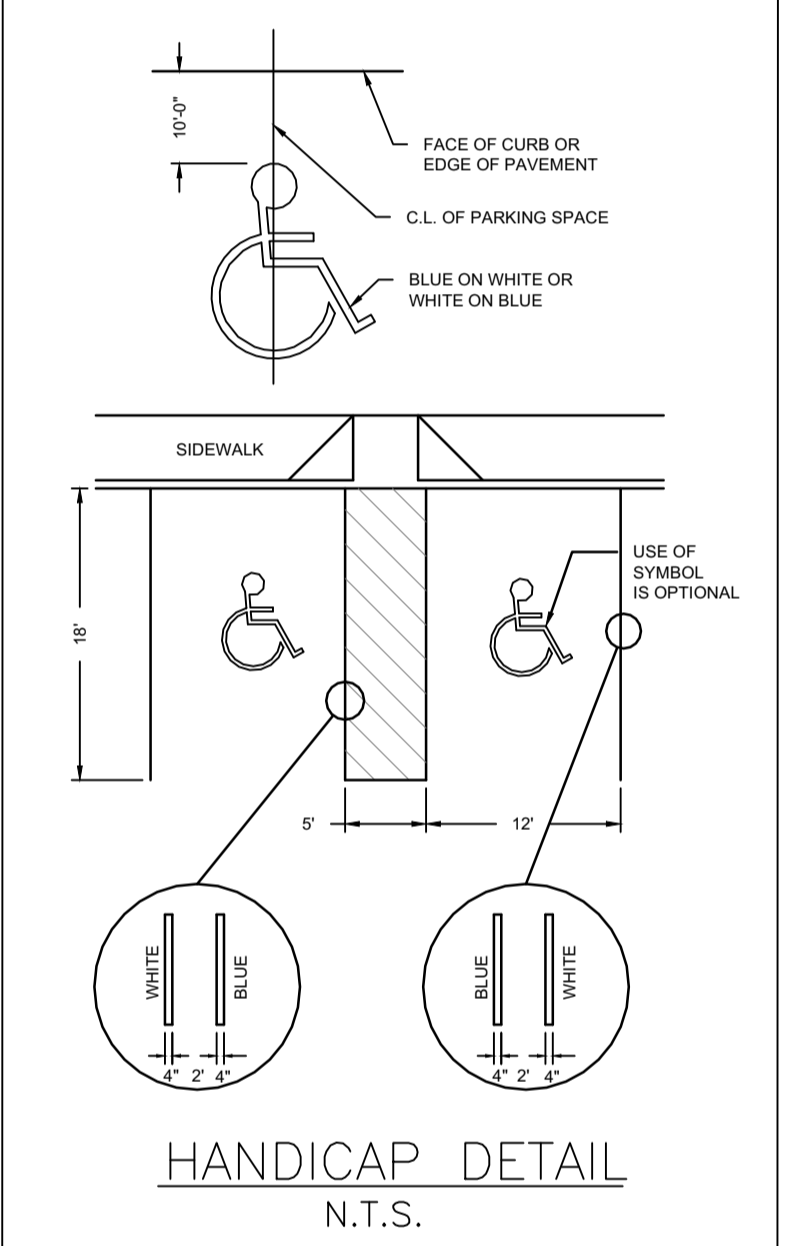
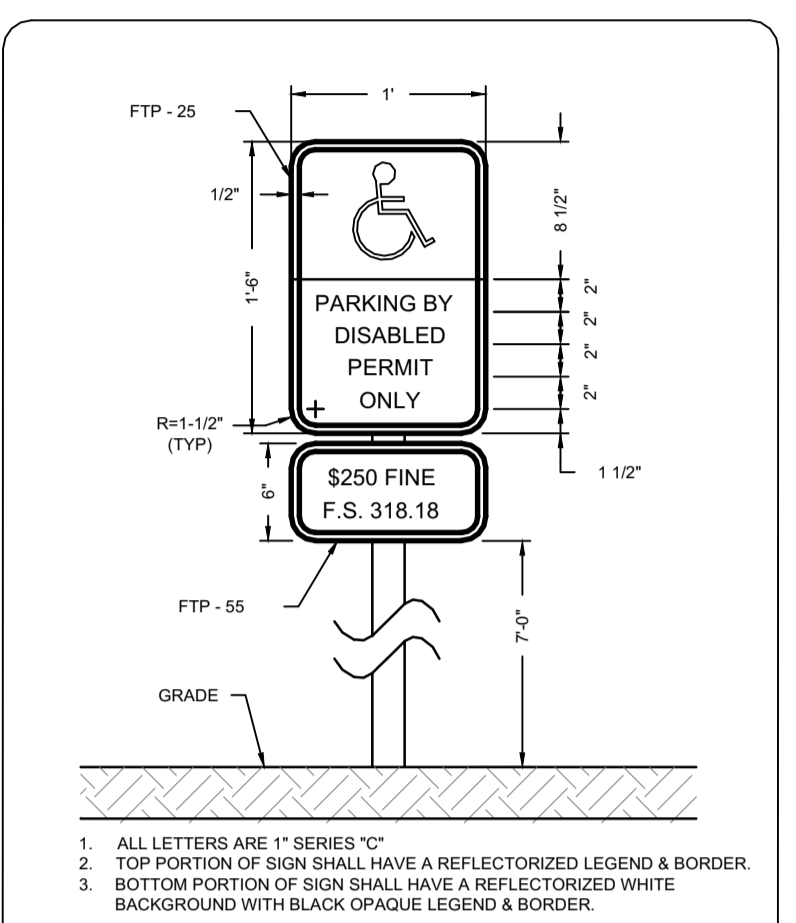
ZONING: "C-2" **PROPOSED USE:** (#4825) **INDUSTRIAL MINI WAREHOUSE**

LOT REQUIREMENTS:	REQUIRED	PROPOSED
LOT AREA	8,000 SF	44,435 SF
LOT WIDTH	100 FT	151 FT
LOT DEPTH	N/A	294 FT

SETBACK REQUIREMENTS:
 FRONT(LANCASTER ROAD) 25 FT OFF R/W 50 FT
 REAR(NORTH) 25 FT 25 FT
 SIDE(WEST) 5 FT 5 FT

MAXIMUM LOT COVERAGE (ISR): 0.80 0.65
MAXIMUM FLOOR/AREA RATIO (GFA): 1.5 0.17
MAXIMUM BUILDING HEIGHT: 35 FT < 20 FT
NUMBER OF PARKING SPACES:
 (SEC. 38-1476 MECHANICAL GARAGES):
 (1SP/1000SF + 1SP/EMPLOYEE): 13.5 SP 19 SP
EXISTING PARKING SPACES: 16 SP
PROPOSED PARKING SPACES: 03 SP

SOLID WASTE: ON-SITE DUMPSTER PROVIDED
SEWER SERVICE: ORANGE COUNTY UTILITIES
WATER SERVICE: ORANGE COUNTY

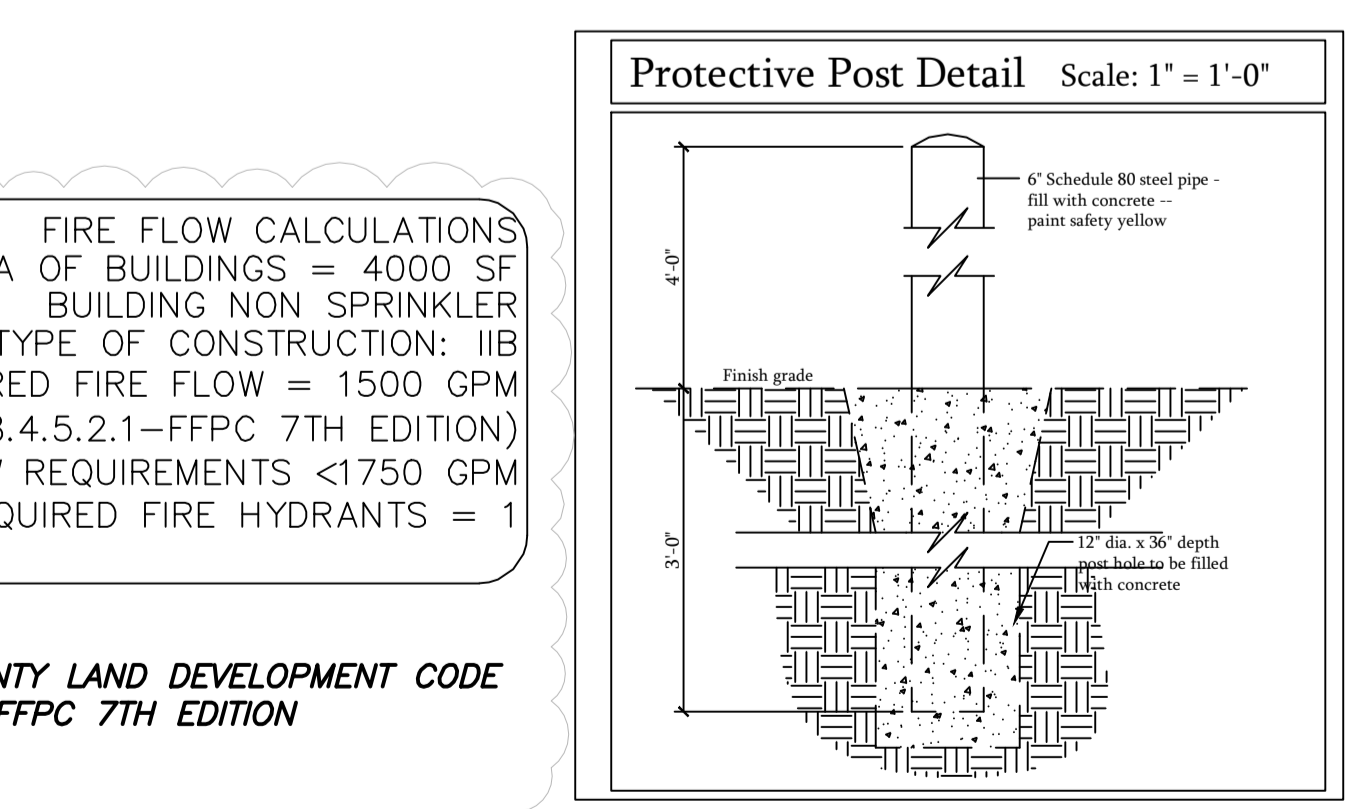


SHEET# TITLE

C1-1	OF 8- NEW SITE PLAN
C2-2	OF 8- EXISTING TOPOGRAPHICAL SURVEY
C3-3	OF 8- GRADING & UTILITY/C.S.W.M. PLAN
C3.1-4	OF 8- DETAILS
C4-5	OF 8- EX. CONDITIONS/DEMOLITION PLAN
C5-6	OF 8- NOTES & SPECIFICATIONS
C6-7	OF 8- NOTES & SPECIFICATIONS
L1-8	OF 8- LANDSCAPE PLAN

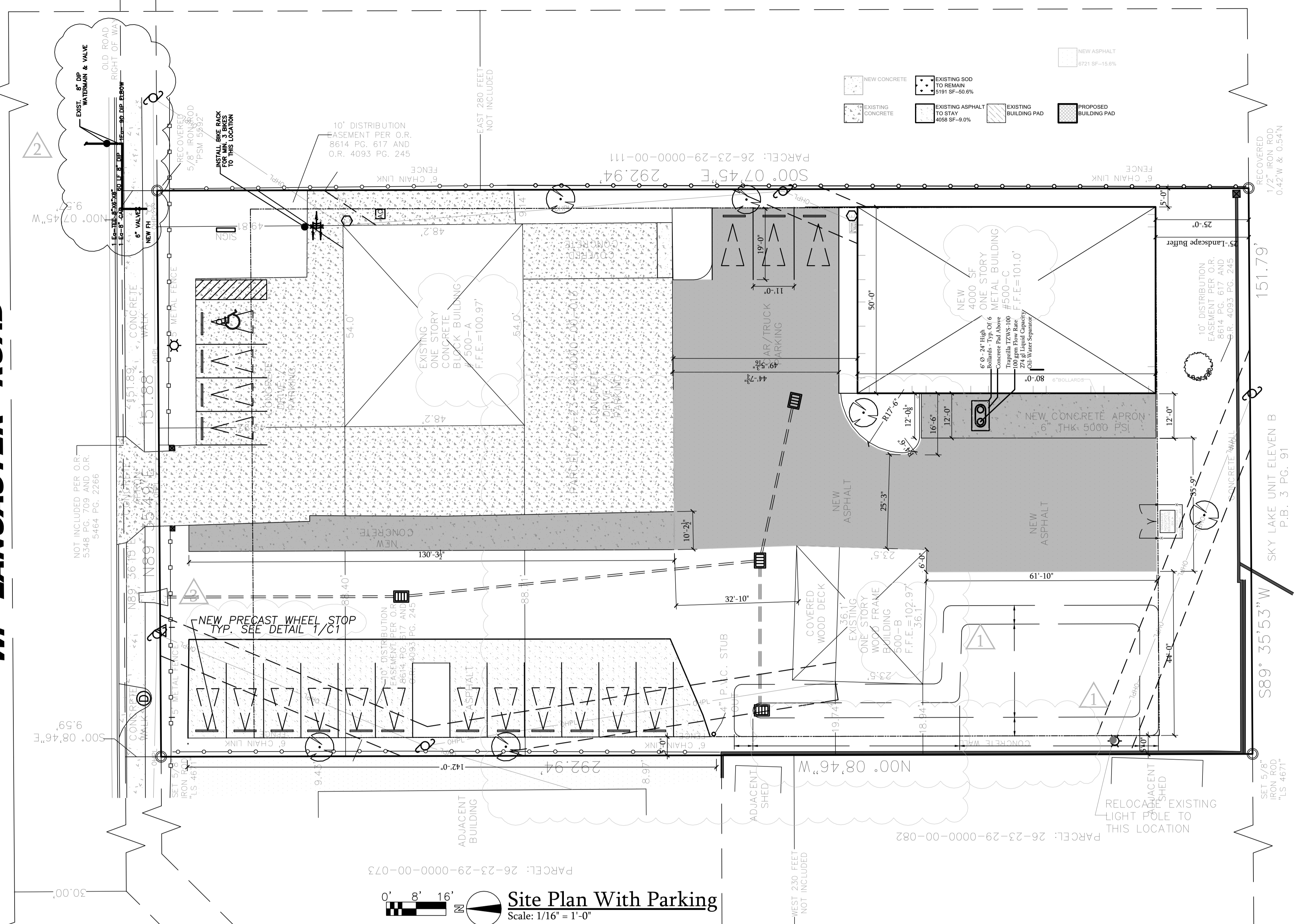
PROPOSED LEGEND

→	DIRECTION OF FLOW
—	EXISTING ELEVATION
—	PROPOSED ELEVATION
—	NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF CURB FACE. ADD 0.5' TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEG = MATCH EXISTING GRADE)
—	6" HIGH CLG
—	CEMENT BAG RIP-RAP PROTECTION
—	SILT FENCE
—	HAYBALE BARRICADE
—	NUMBER OF PROPOSED PARKING SPACES
—	REMOVE EXISTING TREE

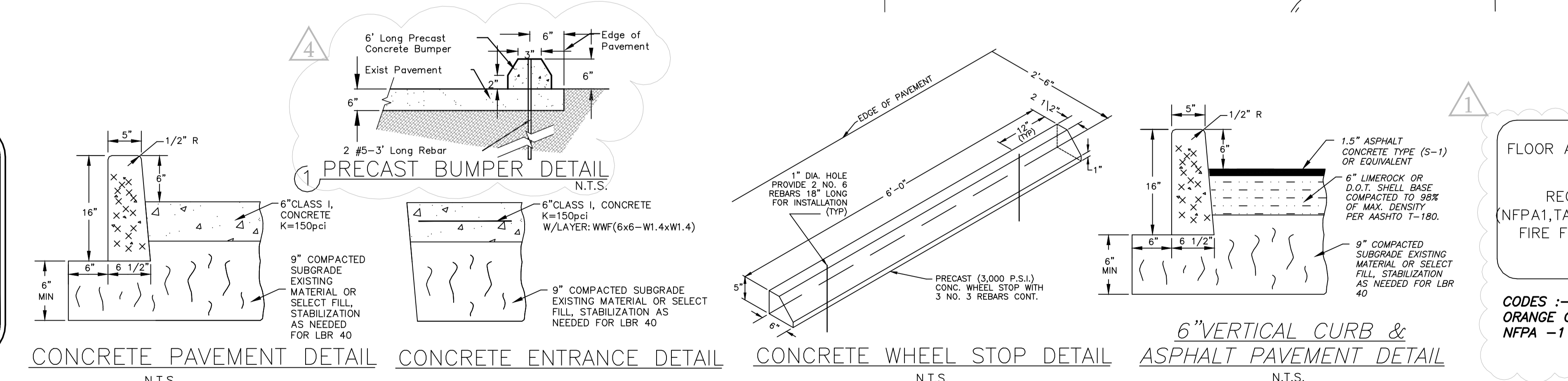


FIRE FLOW CALCULATIONS
 FLOOR AREA OF BUILDINGS = 4000 SF
 BUILDING NON SPRINKLER
 TYPE OF CONSTRUCTION: IIB
 REQUIRED FIRE FLOW = 1500 GPM (NFPA1,TAB18.4.5.2.1-FFPC 7TH EDITION)
 FIRE FLOW REQUIREMENTS <1750 GPM
 REQUIRED FIRE HYDRANTS = 1

CODES :-
 ORANGE COUNTY LAND DEVELOPMENT CODE
 NFPA -1 - FFPC 7TH EDITION



Site Plan With Parking
Scale: 1/16" = 1'-0"



NO.	DATE	BY	REVISIONS	COPY ISSUED TO
1	07/19/21	GHAN	PER 17.01.01 & 2.00 NEW COUNTY COMMENTS AND VALUE ENGINEERING RESPONSE	
2	07/19/22		DESIGN BASED ON 2021-2022 MANUAL	
3	07/18/22		WHEEL STOP	
4	07/18/22		PRECAST WHEEL STOP DETAIL	
5	07/01/20			
6	07/01/20			
7	07/01/21			

NEW PAINT & BODY SHOP BUILDING FOR
SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809

NEW SITE PLAN - SITE DATA

REVISION

C1
DRAWING NO

SHEET NO: 1
OF SHEETS: 6
DATE: 06/12/21
SCALE: AS NOTED
JOB NO.: SKW-LN-2
DESIGN BY: N.GAJJAR
CHECKED BY: R.HAUG
REMARKS:

DESIGN REVIEW BY: ROBERT T HAUG PE.
 IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

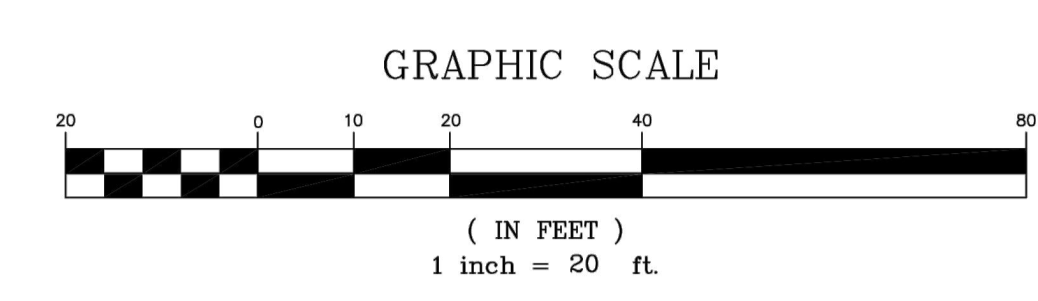
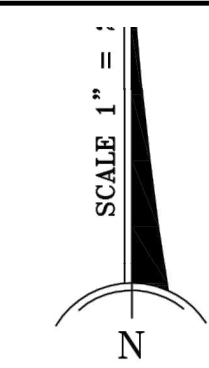
ROBERT T. HAUG,
P.E. # 24575
 2000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 32803 PH:(883) 687-4225

Digitally signed
Robert T Haug
 Date: 2022.08.10 14:21:37 -04'00'

PROFESSIONAL SEAL

Encroachment of any part of this improvement constitutes a violation of the title of this property. Keep this plan on the job site at all times.

W. LANCASTER ROAD



BOUNDARY SURVEY

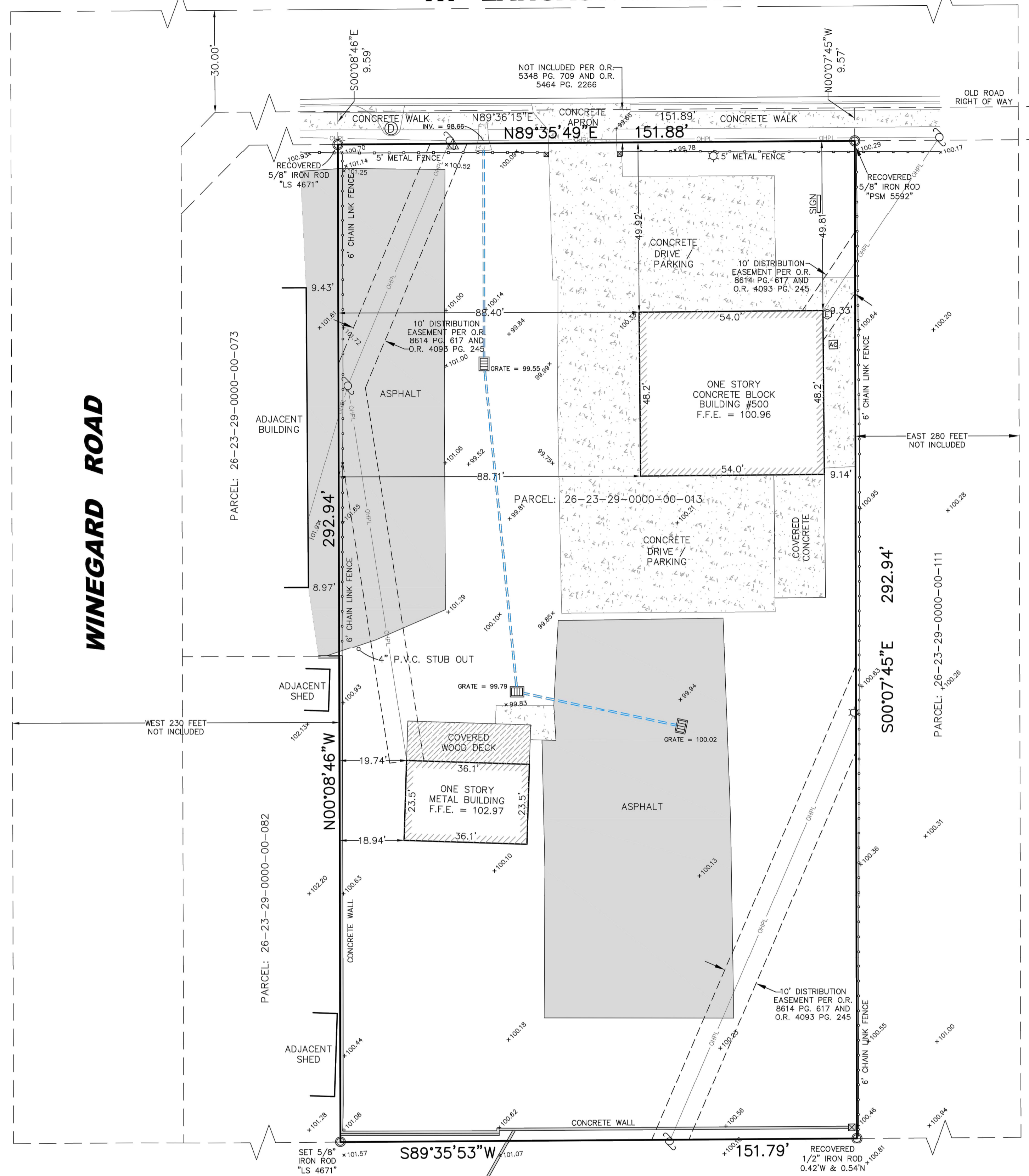
DESCRIPTION:
 The North 1/2 of the Northwest 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 26, Township 23 South, Range 29 East, less the East 280 feet thereof and less the West 230 feet thereof, Orange County, Florida, LESS AND EXCEPT road right of way and those portions conveyed to Orange County, Florida recorded in OR. Book 5348, Page 703 and O. R. Book 5464, Page 2266, Public Records of Orange County, Florida.

SCHEDULE B-II
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 COMMITMENT NUMBER: 660208
 COMMITMENT DATE: NOVEMBER 6, 2018 AT 11:00 PM

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the Commitment Date hereof but prior to the date the Proposed Insured acquires for value of record the estate or interest or Mortgage thereon covered by this Commitment.
STANDARD / NON-SURVEY ITEM
2.
 - a. General or special taxes and assessments required to be paid in the year 2018 and subsequent years.
 - b. Rights or claims of parties in possession not recorded in the Public Records.
 - c. Any encroachment, encumbrance, violation, variation or adverse circumstance that would be disclosed by an inspection or an accurate and complete land survey of the Land and inspection of the Land.
 - d. Easements or claims of easements not recorded in the Public Records.
 - e. Any lien, or right to a lien, for services, labor or material furnished, imposed by law and not recorded in the Public Records.**STANDARD / NON-SURVEY ITEM**
3. Any Owner's Policy issued pursuant hereto will contain under Schedule B the following exception: Any adverse ownership claim by the State of Florida by right of sovereignty to any portion of the Land insured hereunder, including submerged, filled and artificially exposed lands, and lands accreted to such lands.
STANDARD / NON-SURVEY ITEM
4. Any lien provided by County Ordinance or by Chapter 159, F.S., in favor of any city, town, village or port authority, for unpaid service charges for services by any water systems, sewer systems or gas systems serving the land described herein; and any lien for waste fees in favor of any county or municipality.
STANDARD / NON-SURVEY ITEM
5. Easement in favor of Florida Power Corporation recorded in O.R., Book 4093, Page 245, Public Records of Orange County, Florida.
PLOTTED ON SURVEY
6. Distribution Easement in favor of Florida Power Corporation, dba Progress Energy, Florida, Inc. recorded in O.R. Book 8614, Page 617, Public Records of Orange County, Florida.
PLOTTED ON SURVEY
7. Rights of the lessees under unrecorded leases.
STANDARD / NON-SURVEY ITEM

NOTES:
 - BEARINGS BASED ON THE SOUTH RIGHT OF WAY LINE OF LANCASTER ROAD AS BEING N89°35'43"E.
 - NO UNDERGROUND UTILITIES, UNDERGROUND FOUNDATIONS, OR UNDERGROUND SIGN BASES WERE LOCATED.
 - ELEVATIONS BASED ON ORANGE COUNTY BENCHMARK "L-1491-022" ELEVATION = 100.099 NAVD 1988 DATUM.

CERTIFIED TO:
 - Stephen M. Stone
 - Old Republic National Title Insurance Company
 - SKW Investments Inc., a Florida corporation
 - Wefky R. Mansour
 - Farouk M. Sos
 - United Southern Bank



SKY LAKE UNIT ELEVEN B
 P.B. 3 PG. 91

- LEGEND**
- UTILITY POLE
 - LIGHT POLE
 - OVERHEAD POWER LINE
 - ELECTRIC METER
 - TELEPHONE RISER
 - STORM MANHOLE

REVISED: 07/01/2021 ELEVATIONS

James R Shannon
 Digitally signed by James R Shannon
 Date: 2021.07.02
 09:27:16 -04'00'

SHANNON SURVEYING, INC.
 499 NORTH S.R. 434 - SUITE 2045
 ALTAMONTE SPRINGS, FLORIDA, 32714
 (407) 774-8372 LB # 6898

DATE OF SURVEY: 03/12/2021
 FIELD BY: NB SCALE: 1" = 20'
 FILE NUMBER: 26-23-29 500 W LANCASTER

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1				
2				
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4				
5				
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7				

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
 500 W LANCASTER ROAD ORLANDO FL 32809
 EXISTING SURVEY
 TOPOGRAPHICAL

C2
 DRAWING NO

SHEET NO: 2
 OF SHEETS: 6
 DATE: 06/12/21
 SCALE: AS NOTED
 JOB NO. SKW-LN-2
 DESIGN BY: N.GAJJAR
 CHECKED BY: R.HAUG
 REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG P.E.
 I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

ROBERT T. HAUG, P.E. # 24575
 000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

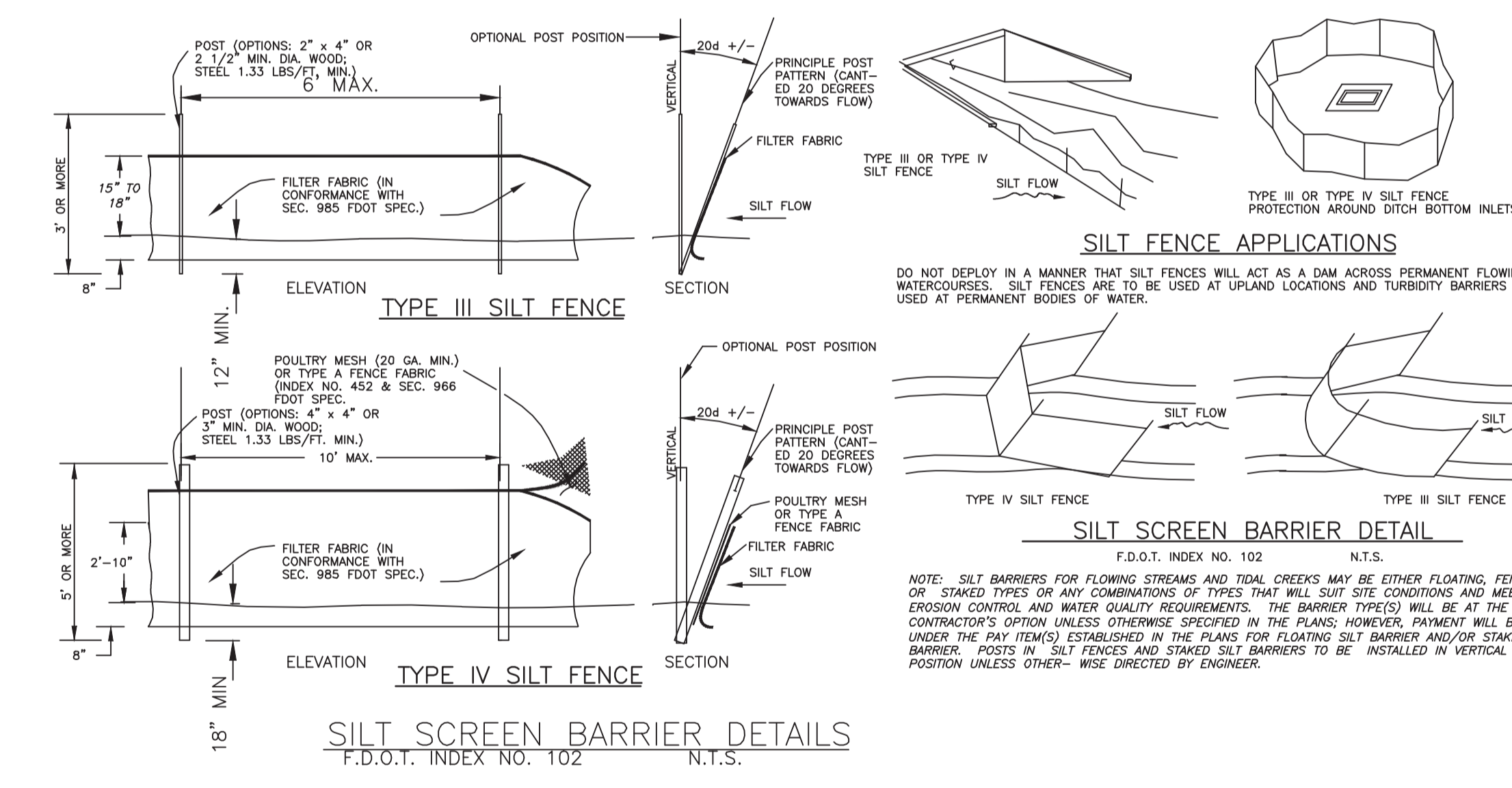
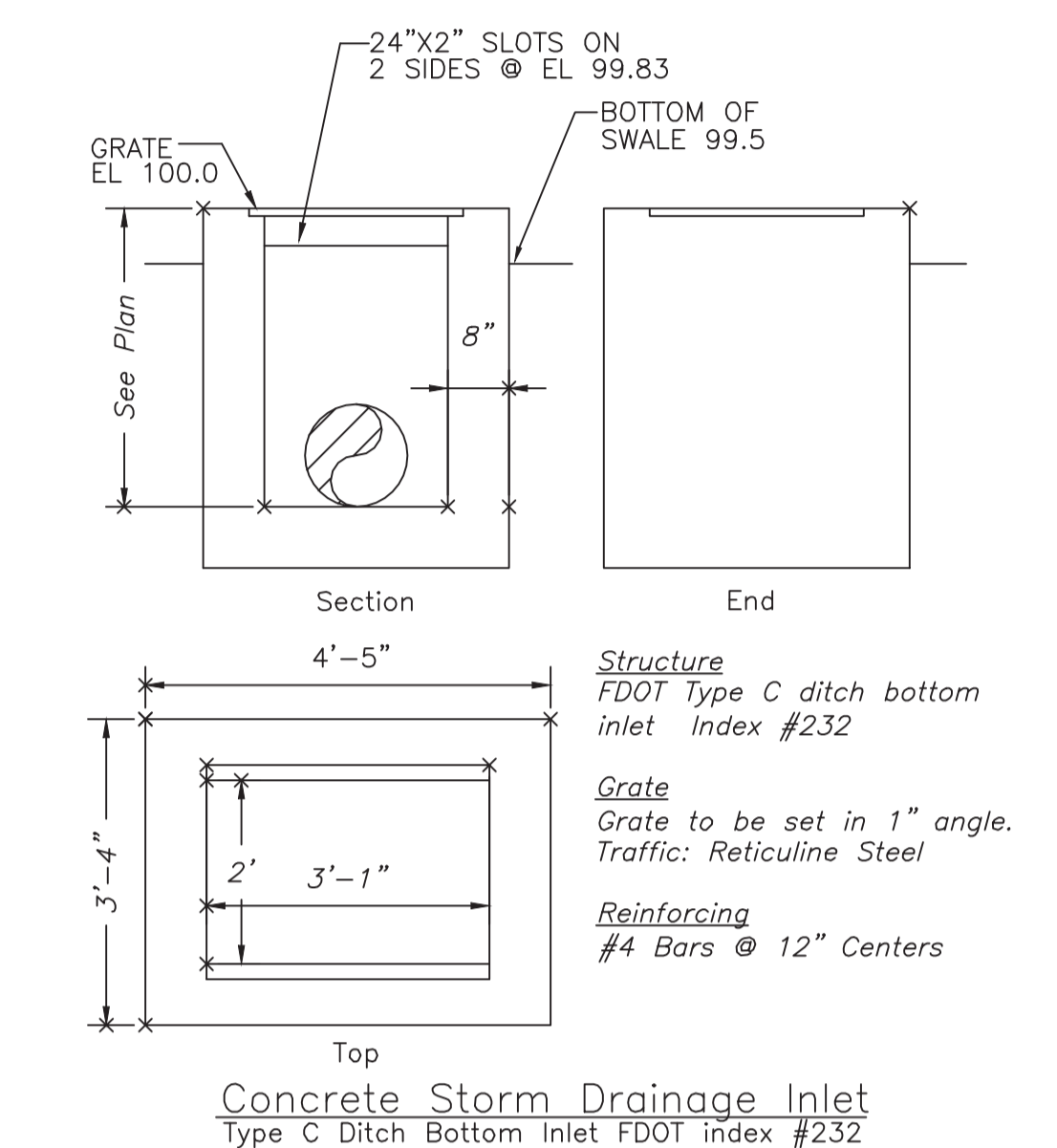
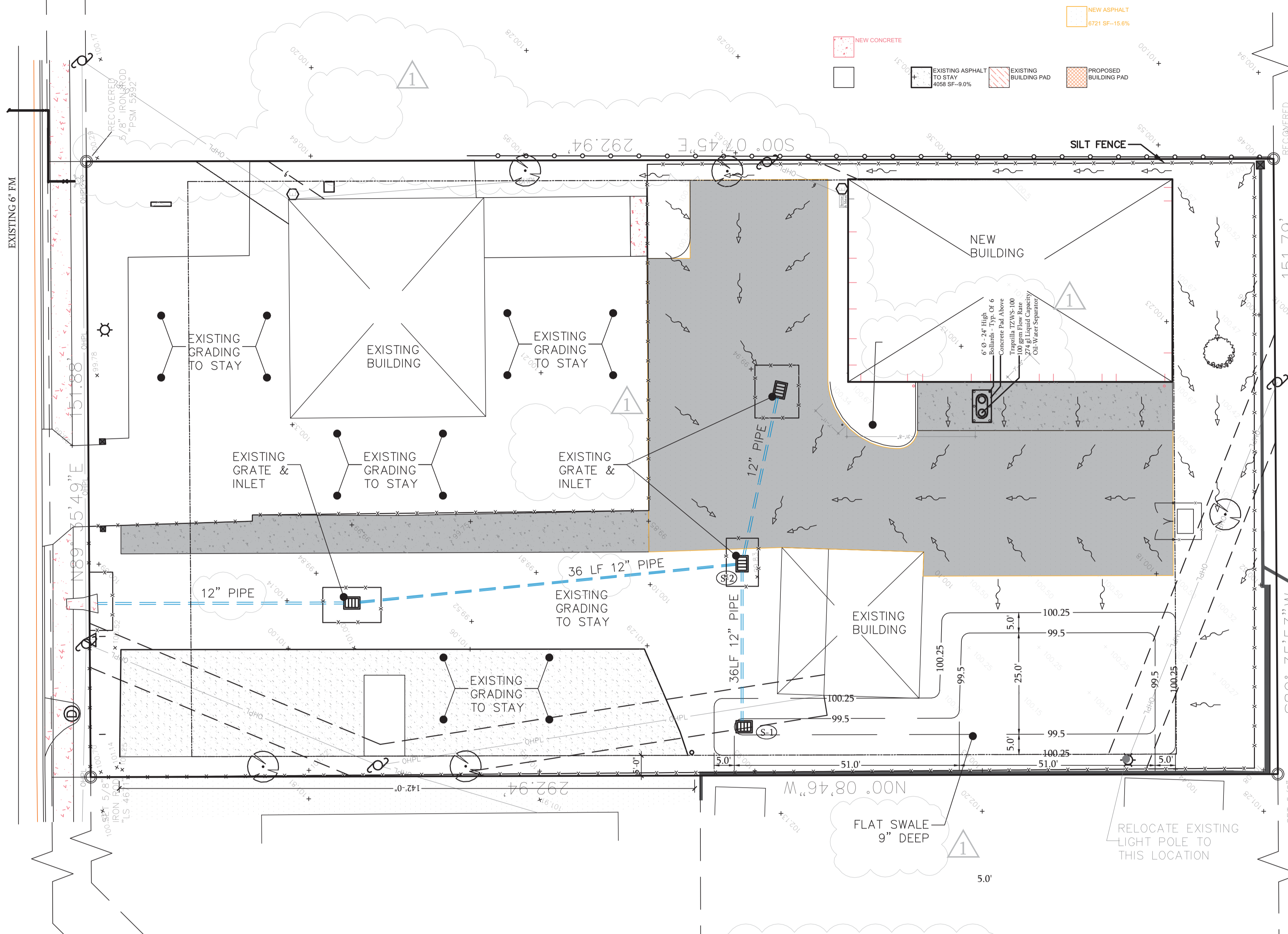
Approved Plans
 Digitally signed by Robert T Haug
 Date: 2021.07.27
 15:41:27 -04'00'

ROBERT T. HAUG
 P.E. # 24575
 000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

This approval does not grant permission to violate any applicable code or ordinance of any part of the improvement nor extend to a subsequent title of this property. Keep this plan on the job site at all times.

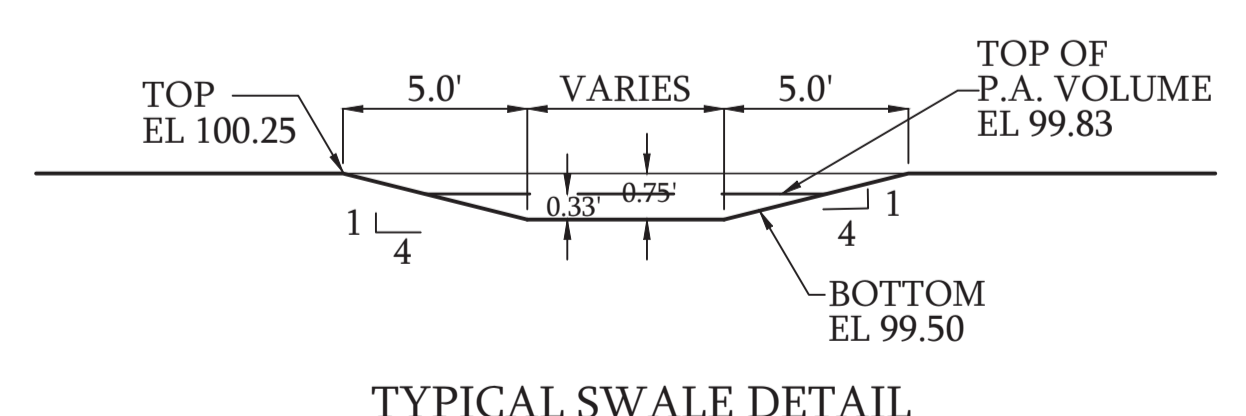
CONTRACTOR COPY FOR SUBMITTAL

W. LANCASTER ROAD



- ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED AT ALL POINTS OF CONNECTION TO, AND AT ALL AREAS OF CONFLICT WITH OCU MAINS.
- ALL UTILITIES (INCLUDING PUMP STATION IF APPLICABLE) LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED.
- MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED WATER, WASTEWATER, AND RECLAIMED WATERLINES.
- CONTACT YOUR DESIGNATED OCU INSPECTOR AT THE CONSTRUCTION DIVISION AT 407-254-9798 TO SCHEDULE A MEETING PRIOR TO INITIATING CONSTRUCTION TO DISCUSS INSPECTION REQUIREMENTS.

Grading & Drainage Plan
Scale: 1/16" = 1'-0"



(S-1)	TYPE C INLET GRATE EL 100.0/SLOT EL 99.83 12" FL (N) 98.48
(S-2)	EXIST INLET: GRATE EL 99.79 12" FL (N&W) 98.37 (EXIST) 12" FL (S) 98.37 (SAW CUT EXISTING)

RUNOFF WATER CALCULATIONS

PRE-BASIN RUNOFF (4"/HR)
PERVIOUS : 22013 @ 0.35 = 0.857 CFS
IMPERVIOUS : 22422 @ 1.0 = 2.494 CFS
PRE-BASIN TOTAL = 3.351 CFS

POST-BASIN RUNOFF (4"/HR)
PERVIOUS : 15553 @ 0.35 = 0.605 CFS
IMPERVIOUS : 28882 @ 1.0 = 3.212 CFS
POST-BASIN TOTAL = 3.817 CFS

EXCESS RUNOFF (4"/HR)
POST-BASIN TOTAL = 3.817 CFS
(-) PRE-BASIN TOTAL = 3.351 CFS
(=) EXCESS TOTAL = 0.466 CFS
13.90 % OF EXISTING RUNOFF

REQUIRED WATER RETENTION
RATIONAL HYDROGRAPH METHAD
POST-PICK RUNOFF RATE : 3.817 CFS
PRE-PICK RUNOFF RATE : 3.351 CFS
EXCESS BALANCE : 0.466 CFS
TIME OF CALCULATION : 0.25 HRS

$V_{st} = 0.08264 \times 0.25 \times 0.466$
 $0.00963 \times 43560 = 419.48$ CU FT

PROVIDED WATER RETENTION
 $[(86+82)/2] \times [(7+3)/2] \times 1 = 84 \times 5 \times 1 = 420$ CU FT
 > 419.48 CU FT

PROPOSED LEGEND

- DIRECTION OF FLOW
- EXISTING ELEVATION
- PROPOSED ELEVATION
- 6" HIGH CLF
- CEMENT BAG RIP-RAP PROTECTION
- SILT FENCE
- HAYBALE BARRICADE
- NUMBER OF PROPOSED PARKING SPACES
- REMOVE EXISTING TREE



NO.	DATE	BY	REVISIONS	COPY ISSUED TO
1	06/20/22	TR	ISSUE PER 1, 53 & 2 NO REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	AS FURNISHED
2	03/01/20	---	OCU INSPECTOR CONTACT NOTE ADDED	---
3	09/09/09	---	---	---
4	06/20/06	---	---	---
5	06/06/06	---	---	---
6	09/09/09	---	---	---
7	06/20/06	---	---	---

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
GRADING UTILITY AND EROSION CONTROL

C3 DRAWING NO

REVISION

SHEET NO: 3
OF SHEETS: 6

DATE: 06/12/21
SCALE: AS NOTED

JOB NO: SKW-LN-2
DESIGN BY: N.GAJJAR
CHECKED BY: R.HAUG

REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG PE
IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
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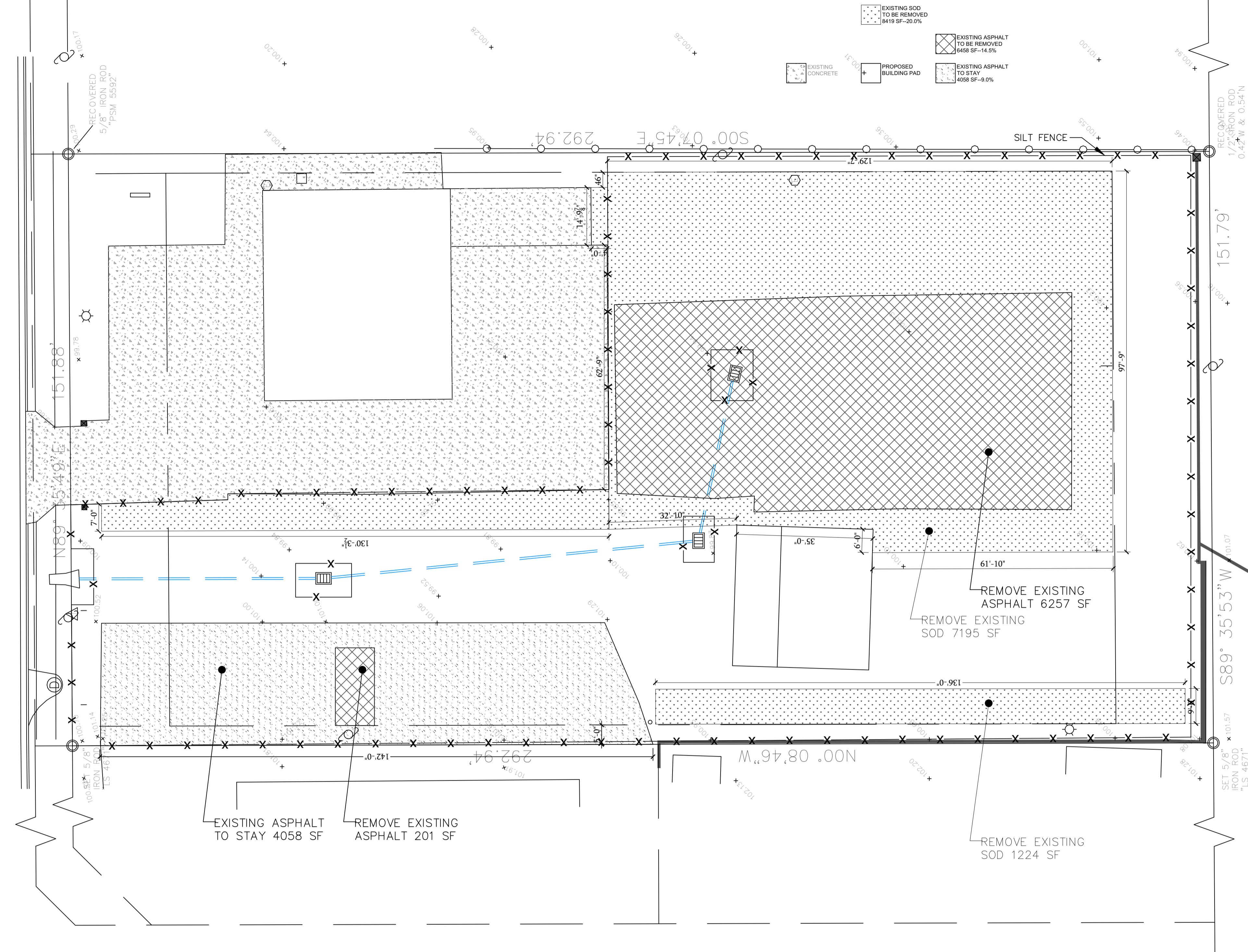
ROBERT T. HAUG, P.E. # 24575
2000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed
Original from Robert T. Haug
Date: 2022.06.08 15:08:00 -04'00'

ROBERT T HAUG
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
P 24575 B2100285
EXPIRES 06/30/2022

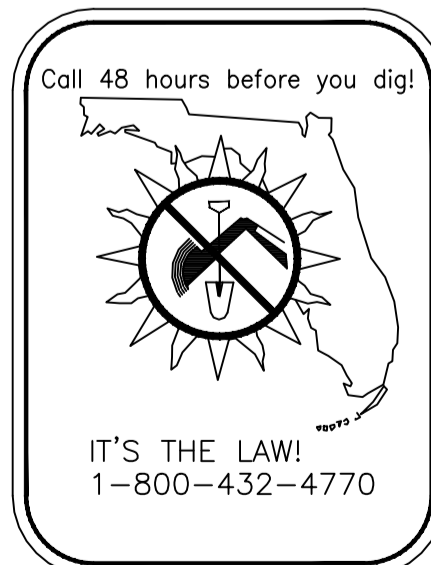
CONTRACTOR - COPY FOR SUBMITTAL

W. LANCASTER ROAD



[Pattern]	EXISTING SOD TO BE REMOVED 8419 SF-20.0%	[Pattern]	EXISTING ASPHALT TO BE REMOVED 6458 SF-14.5%
[Pattern]	EXISTING CONCRETE	[Pattern]	EXISTING ASPHALT TO STAY 4058 SF-9.0%
[Pattern]	PROPOSED BUILDING PAD		

Demolition Plan
Scale: 1/16" = 1'-0"



PROPOSED LEGEND

- DIRECTION OF FLOW
- EXISTING ELEVATION
- + 18.87 PROPOSED ELEVATION
NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF CURB FACE. ADD 0.5' TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEG = MATCH EXISTING GRADE)
- 6" HIGH CLF
- CEMENT BAG RIP-RAP PROTECTION
- SILT FENCE
- HAYBALE BARRICADE
- NUMBER OF PROPOSED PARKING SPACES
- REMOVE EXISTING TREE

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1				
2				
3				
4				
5				
6				
7				

**NEW PAINT & BODY SHOP BUILDING FOR
SKW INVESTMENTS INC.
500 W LANCASTER ROAD ORLANDO FL 32809
DEMOLITION PLAN**

NORTH

REVISION

C4
DRAWING NO

SHEET NO: 4
OF SHEETS: 6
DATE: 06/12/21
SCALE: AS NOTED
JOB NO. SKW-LN-2
DESIGN BY: N.GAJJAR
CHECKED BY: R.HAUG

DESIGN REVIEW BY: ROBERT T HAUG PE
I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

ROBERT T. HAUG,
P.E. # 24575
000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 32803 PH:(863) 687-4225

Digitally signed
by **Robert T Haug**
Date: 2021.07.27 15:42:45 -04'00'

CONTRACTOR COPY FOR SUBMITTAL

DATE, SIGN, & SEAL

GENERAL CONSTRUCTION NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES, AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES, IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL TO THE OWNER'S ENGINEER, SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS WHICH ARE FROM THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. ALL SHOP DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER'S ENGINEER.
- AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES, AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED, ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER, OR WITHOUT AGENCY INSPECTOR PRESENT, MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED AROUND PIPES IN 6" LAYERS UP TO A LEVEL OF AT LEAST ONE FOOT ABOVE THE TOP OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- SITE WORK CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED.
- ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION IS TO BE ALLOWED.
- ALL DISTURBED AREAS WHICH ARE NOT TO BE SOODED, ARE TO BE SEEDED AND MULCHED TO DOT STANDARDS, AND MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS, ACCEPTABLE TO THE REGULATORY AGENCY AND ENGINEER OF RECORD, HAVE BEEN OBTAINED. ANY WASHOUTS, RE-GRADING, RE-SEEDING AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR, UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE, BY THE REGULATORY AGENCY AND ENGINEER OF RECORD.
- THE SOILS ENGINEER IS TO SUPPLY THE ENGINEER WITH A PHOTOCOPY OF ALL COMPACTION TESTS, AND ASPHALT RESULTS. THE SOILS ENGINEER IS TO CERTIFY TO THE ENGINEER OF RECORD, IN WRITING, THAT ALL TESTING REQUIREMENTS, REQUIRED BY THE LOCAL REGULATORY AGENCY, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), FOR THE IMPROVEMENTS, AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS, HAVE BEEN SATISFIED.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLANS AND PERMITS AT THE CONSTRUCTION SITE.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS FOR CONSTRUCTION SITE SAFETY.
- ALL SOODING, SEEDING AND MULCHING SHALL INCLUDE WATERING AND FERTILIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE AREAS UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY THE OWNER.

CLEARING AND GRUBBING NOTES

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER.
- THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE SOILS TESTING REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER OR THE SOILS TESTING COMPANY. QUESTIONS REGARDING SITE PREPARATION REQUIREMENTS DESCRIBED IN THE SOILS REPORT ARE TO BE DIRECTED TO THE SOILS TESTING COMPANY.
- THE CONTRACTOR SHALL CLEAR AND GRUB, ONLY THOSE PORTIONS OF THE SITE, NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS. ONLY GRADING BY HAND IS PERMITTED WITHIN THE CANOPY LINE OF TREES THAT ARE TO REMAIN.
- THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR REMOVING ANY EXISTING STRUCTURES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE OWNER AND REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.
- DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
- ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- WHEN CONSTRUCTION IS COMPLETED, THE RETENTION/DETENTION AREAS WILL BE RESHAPED, CLEANED OF SILT, MUD AND DEBRIS, AND RE-SOODED IN ACCORDANCE TO THE PLANS.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND EXISTING WETLANDS.

GRADING AND DRAINAGE NOTES

- ALL DELETERIOUS SUBSTANCE MATERIAL, (I.E. MUCK, PEAT, BURIED DEBRIS), IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS, OR AS DIRECTED BY THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER.
- EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING, OR SHORING, AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DE-WATERING SHALL BE USED AS REQUIRED.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS.
- PVC STORM PIPE, 12" AND SMALLER SHALL CONFORM TO AWWA C-900, CLASS 150 STANDARDS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- THE CONTRACTOR IS TO SOD THE RETENTION/DETENTION POND AS INDICATED ON PLANS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE POND.
- MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY.

PAVING NOTES

- PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER'S ENGINEER FOR APPROVAL.
- THE CONTRACTOR IS TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER, AT ADJUTMENT OF CONCRETE AND ANY STRUCTURE.
- ALL PAVEMENT MARKINGS SHALL BE MADE WITH TRAFFIC PAINT IN ACCORDANCE TO FDOT STANDARD SPECIFICATIONS 71-12 OR 71-13. PARKING STALL STRIPING TO BE 4" WIDE PAINTED WHITE STRIPES.
- THE CONTRACTOR IS TO INSTALL EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN TWELVE (12) INCHES.
- STANDARD INDEXES REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".

PAVING, GRADING & DRAINAGE TESTING AND INSPECTION REQUIREMENTS

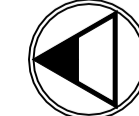
- THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S SOILS ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL.
- THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEMS UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE PERFORMED PURSUANT WITH THE TESTING SCHEDULE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.


S.J.R.W.M.D. / EROSION CONTROL NOTES

- DURING CONSTRUCTION SEDIMENT IS TO REMAIN ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO INITIATING AND DURING ALL PHASES OF LAND CLEARING AND CONSTRUCTION TO PREVENT SOIL EROSION AND SILTATION.
- ROUGH EXCAVATE RETENTION AREAS.
- DIRECT ALL SURFACE DRAINAGE TOWARD RETENTION AREA DURING CONSTRUCTION.
- AFTER PAVING, GRADE RETENTION AREAS TO CONTOURS, SHAPE AS SHOWN AND SOD.
- ALL DISTURBED CONDITIONS SHALL BE RESTORED TO NATURAL CONDITIONS OR BETTER.
- ALL SIDE SLOPES OF RETENTION OR SWALE AREAS SHALL BE STABILIZED BY VEGETATION OR OTHER MATERIALS TO MINIMIZE EROSION AND PROTECT THE STORMWATER BASIN. NOTE: PLAN CONFLICTS, SHOWN OR UNSHOWN, WITH OTHER EXISTING SITE IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ADJUSTMENTS AND PROTECT OR REINSTALL ALL DISTURBED EXISTING UTILITIES, PHONE LINES, POWER LINES, POWER SUPPORT CABLES, SPRINKLER LINES AND CONTROLS, MECHANICAL PIPELINES OR UNDERGROUND POWER CABLES AND RETURN EXISTING CONCRETE WALKS, DUMPSTER PADS, FENCE, HANDRAIL, VALVES, HYDRANTS, GUY WIRES, ELECTRIC BOXES AND PIPELINES WHICH SHALL BE REPAIRED OR REINSTALLED AS INCIDENTAL TO THE COST OF WORK SHOWN HEREUNDER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESOLVE ANY CONFLICTS PRIOR TO AWARD OF THE CONTRACT. NOTE: REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AS PROVIDED BY CHAPTERS 400-4 & 400-40 F.A.C. INITIATION OF CIVIL PENALTY PROCEDURES PURSUANT TO SECTION 372.129, F.A.C. CAN RESULT IN A PENALTY NOT TO EXCEED \$10,000 PER OFFENSE WITH EACH DATE DURING WHICH SUCH VIOLATION OCCURS CONSTITUTING A OFFENSE.

**NEW PAINT & BODY SHOP BUILDING FOR
SKW INVESTMENTS INC.
500 W LANCASTER ROAD ORLANDO FL 32809
SPECIFICATIONS & NOTES**

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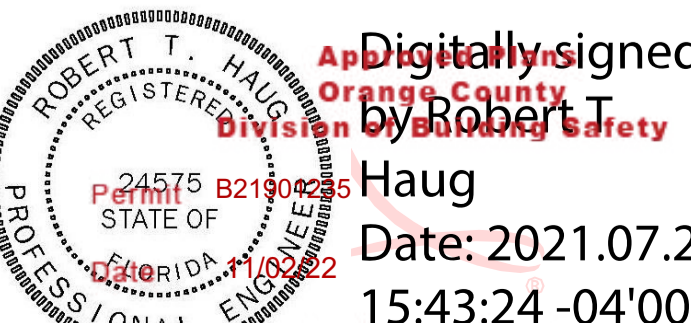
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SHEET NO: 5
OF SHEETS: 6
DATE: 06/12/21
SCALE: AS NOTED
JOB NO. SKW-LN-2
DESIGN BY: N.GAJWAR
CHECKED BY: R HAUG
REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG PE
I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
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ROBERT T. HAUG, P.E. # 24575
2000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed
Original signed by **Robert T. Haug**
Date: 2021.07.27 15:43:24 -04'00'



CONTRACTOR COPY FOR SUBMITTAL

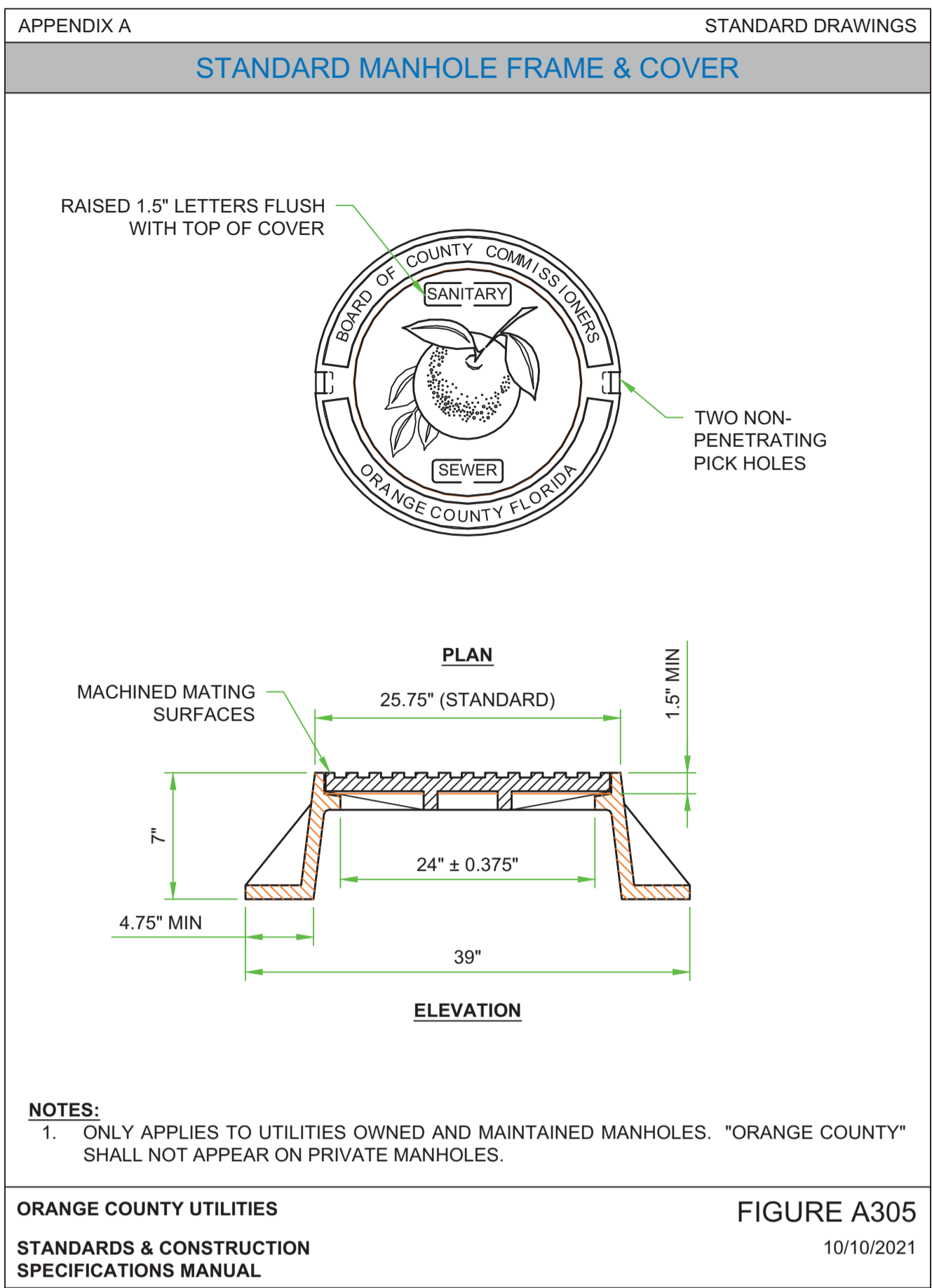
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Enclosurement of any part of these drawings does not grant permission to create any replicable title of this property. Keep this plan on the job site at all times.

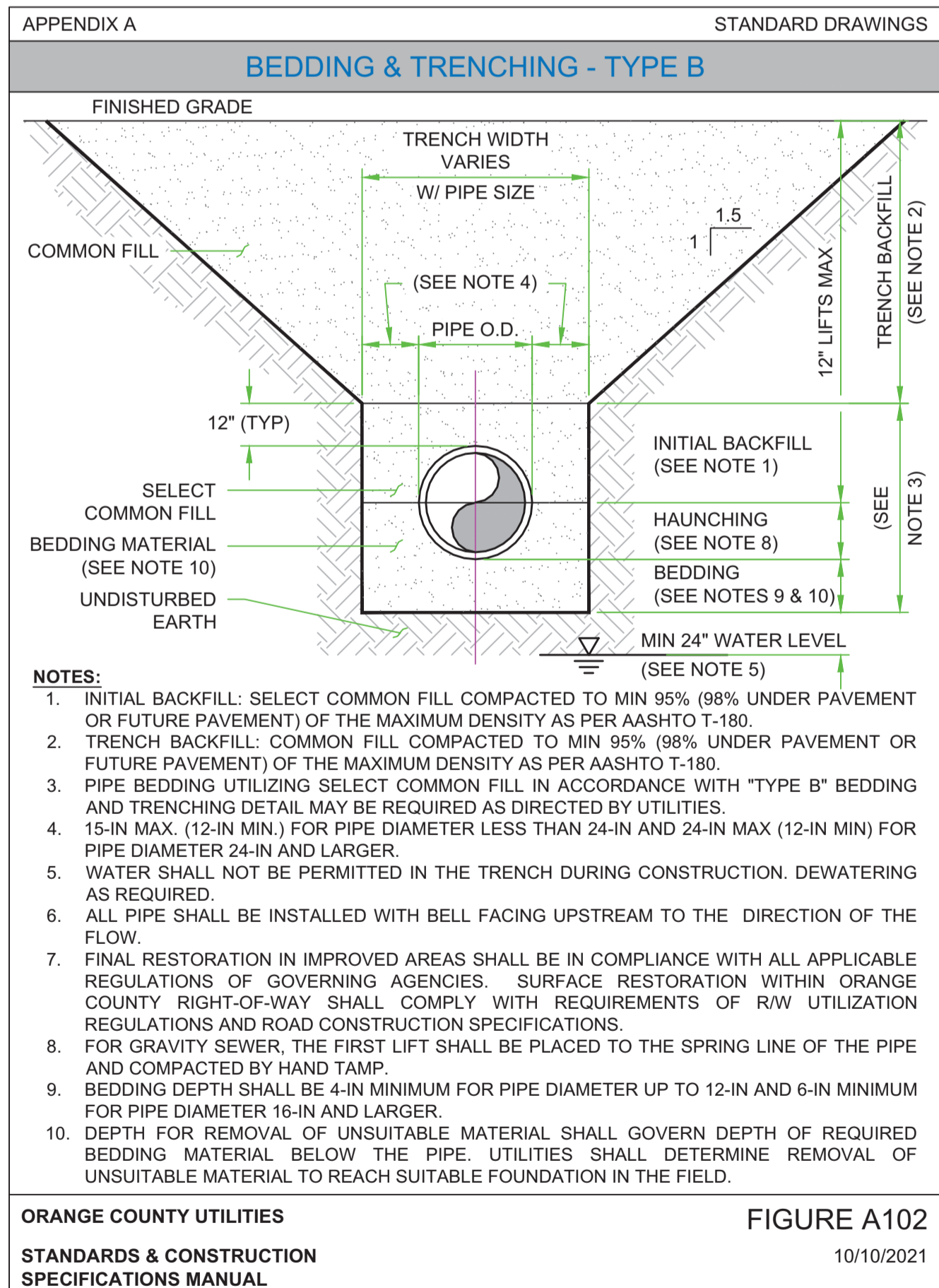
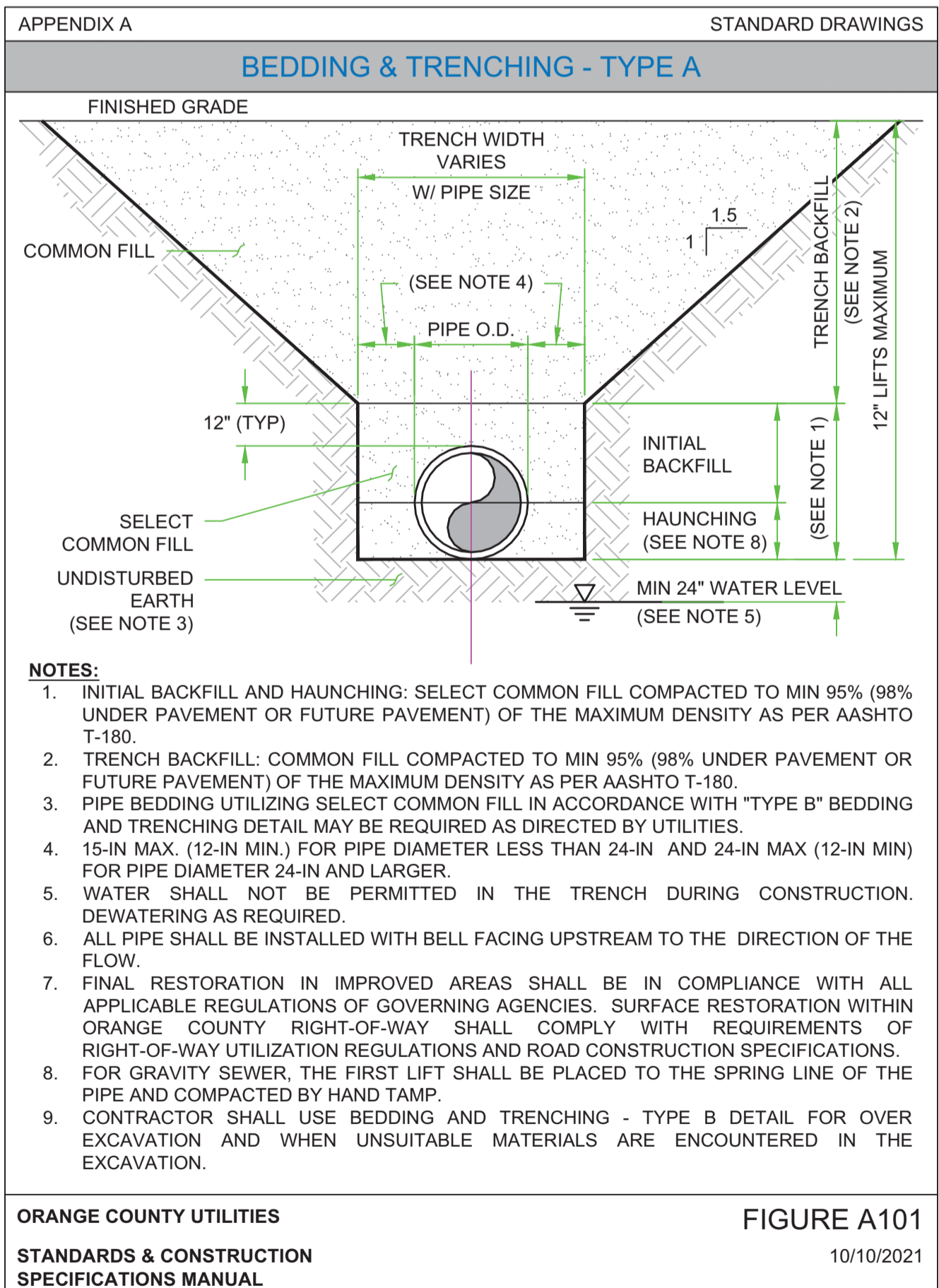
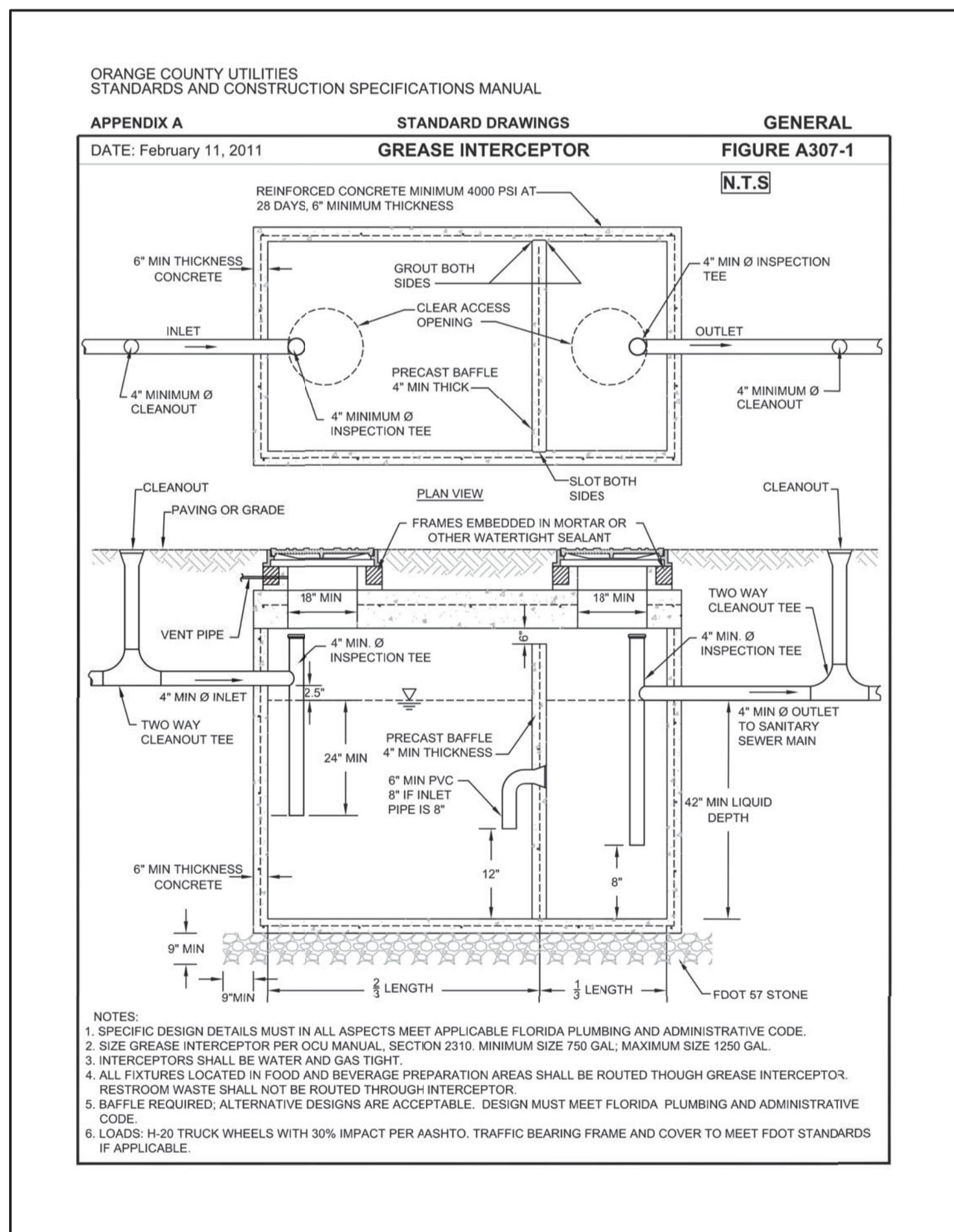
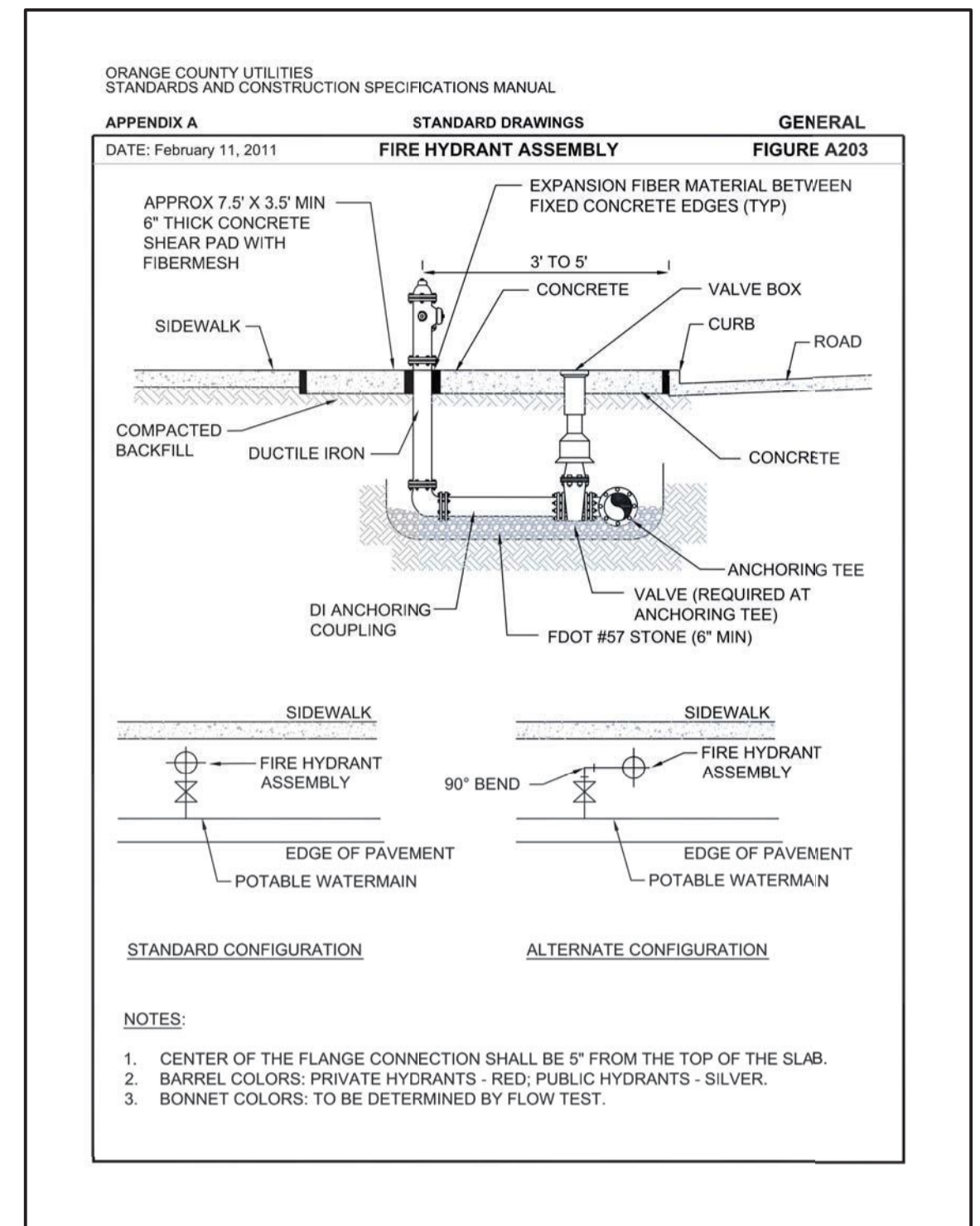
APPENDIX A		STANDARD DRAWINGS										
HORIZONTAL PIPELINE SEPARATION REQUIREMENTS												
HORIZONTAL SEPARATION REQUIREMENTS (NOTES 1 & 2)												
PROPOSED UTILITY		POTABLE WATER MAIN (NOTE 3)		RECLAIMED WATER MAIN (SEE NOTE 7)		WASTEWATER FORCEMAIN		SANITARY SEWER		STORM SEWER		STRUCTURAL FOUNDATION, WALLS, ETC. (SEE NOTE 8)
		4'-12"	16"-UP	4'-12"	16"-UP	4'-12"	16"-UP	ALL SIZES	ALL SIZES	ALL SIZES	ALL SIZES	
POTABLE WATER (NOTE 3)	4'-12"	3'	5'	3'	5'	6'	6'	6'	3'			10'
	16"-UP	5'	5'	5'	5'	6'	6'	6'	5'			15' (NOTE 5)
RECLAIMED WATER MAIN (SEE NOTE 7)	4'-12"	3'	5'	3'	5'	3'	5'	3'	3'			10'
	16"-UP	5'	5'	5'	5'	5'	5'	5'	5'			15' (NOTE 5)
WASTEWATER FORCEMAIN	4'-12"	6'	6'	3'	5'	3'	5'	3'	3'			10'
	16"-UP	6'	6'	5'	5'	5'	5'	5'	5'			15' (NOTE 5)
SANITARY SEWER	ALL SIZES	6'	6'	3'	5'	3'	5'	3'	5'			VARIES PER DEPTH

NOTES:
 1. DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
 2. THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. FOR PIPES INSTALLED AT GREATER DEPTHS THAN THE MINIMUM OCU DESIGN STANDARDS, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF DEPTH.
 3. THIS SEPARATION REQUIREMENT COMPLIES WITH THE MINIMUM FDEP SEPARATION REQUIREMENTS OUTLINED IN 62-555.214, FAC. VARIANCES FROM THE FDEP REQUIREMENTS MUST COMPLY WITH 62-555.314(5), FAC AND MUST BE APPROVED INDIVIDUALLY BY BOTH FDEP AND UTILITIES PRIOR TO INSTALLATION.
 4. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURE.
 5. PRESSURE MAINS 16-IN TO 24-IN MAY HAVE 10-FT SEPARATION FROM STRUCTURAL FOUNDATION, WALLS, ETC IF NEW MAINS ARE RESTRAINED FOR THE ENTIRE LENGTH.
 6. REFERENCE FIGURE A116-2 FOR VERTICAL PIPELINE SEPARATION REQUIREMENTS.
 7. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 8. ADDITIONAL SEPARATION SHALL BE REQUIRED BY UTILITIES FOR CONSTRUCTION OF, INCLUDING, BUT NOT LIMITED TO: LIVE LOADS, MULTI-STORY COMMERCIAL BUILDINGS, SUPERSTRUCTURES, EMBANKMENTS, RETAINING WALLS, BRIDGES, RAILROADS, HIGH VOLTAGE TRANSMISSION MAINS, GAS MAINS, ETC.

ORANGE COUNTY UTILITIES FIGURE A116-1
 STANDARDS & CONSTRUCTION SPECIFICATIONS MANUAL 10/10/2021



- APPENDIX A STANDARD DRAWINGS
- OCU GENERAL NOTES**
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF INCLUDING, BUT NOT LIMITED TO: WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS, RECLAIMED WATER MAINS, ELECTRIC, GAS, CABLE TV, TELECOMMUNICATIONS, STORM WATER, FIBER OPTIC AND OTHER UNDERGROUND FACILITIES. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
 - SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) AND THE OCU INSPECTOR.
 - THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION INSPECTION SECTION, FIELD SERVICES DIVISION AT LEAST 10 CALENDAR DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407) 254-6788.
 - THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION INSPECTOR IN ACCORDANCE WITH TABLE 4110-1 "UTILITIES" SCHEDULE OF NOTIFICATIONS IN THIS MANUAL.
 - THE MATERIALS, PRODUCTS, AND CONNECTIONS OF ALL UTILITIES CONNECTING TO THE OCU SYSTEM SHALL BE IN CONFORMANCE WITH THE STANDARDS, CONSTRUCTION SPECIFICATIONS, AND APPENDIX D IN THIS MANUAL.
 - ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO: WATER MAINS, FORCE MAINS, RECLAIMED WATER MAIN, SANITARY GRAVITY PIPES, STORM WATER PIPES, ELECTRIC, TELEPHONE, GAS, POLES AND STAYS, CABLE TV AND OTHER UTILITY FACILITIES WITHIN THE LIMITS OF THE PROJECT WILL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, CURBS, OR STORM WATER IMPROVEMENTS. OCU FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO: PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS. ALL ADJUSTMENTS SHALL BE MADE TO CURRENT STANDARDS.
 - ONLY OCU PERSONNEL SHALL OPERATE EXISTING OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR IS RESPONSIBLE FOR OPERATING ANY NEWLY INSTALLED VALVE THAT HAS NOT BEEN CLEARED FOR USAGE BY FDEP AND OCU. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE OCU INSPECTOR. FOR OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
 - CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ADVANCE AND WRITTEN NOTICE SHALL BE GIVEN TO AFFECTED CUSTOMERS AT LEAST 4 WORKING DAYS IN ADVANCE.
 - THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND / OR HAULING OF WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS OR HAUL PLAN, REVIEWED AND APPROVED BY A PROFESSIONAL ENGINEER TO OCU DEVELOPMENT ENGINEERING AND TO THE INSPECTOR FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
 - ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND OCU.
 - THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH AN APPROVED BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCE MAIN SHALL ALSO BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTER.
 - FOR PVC PIPE, NO JOINT DEFLECTION OR PIPE BENDING IS ALLOWED. ALIGNMENT CHANGE SHALL BE MADE ONLY WITH FITTINGS.
 - FOR DIP PIPE, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING STANDARDS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.
 - FOR APPROVED PVC OR HDPE PIPE USED IN A HORIZONTAL DIRECTIONAL DRILL INSTALLATION, THE CURVATURE AND/OR DEFLECTION SHALL NOT EXCEED THE PARAMETERS ESTABLISHED IN THIS MANUAL.
 - ALL DAMAGE TO ORANGE COUNTY INFRASTRUCTURE, PIPELINES, AND ASSETS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE WITH AN APPROVED METHOD BY THE COUNTY. IF THE REPAIR IS NOT PERFORMED IN A TIMELY MANNER, AS DETERMINED BY THE ORANGE COUNTY UTILITY INSPECTOR, ORANGE COUNTY MAY PERFORM REPAIRS AND THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
 - THE CONTRACTOR SHALL BE LIABLE FOR ANY AND ALL SANITARY SEWER OVERFLOWS (SSO) ASSOCIATED WITH THE WORK, REGARDLESS OF FAULT. THE CONTRACTOR WILL BE ASSESSED PENALTIES FOR ANY AND EACH SSO AS SPECIFIED IN SECTION 3110, GENERAL CONSTRUCTION REQUIREMENTS.
- ORANGE COUNTY UTILITIES FIGURE GN
 STANDARDS & CONSTRUCTION SPECIFICATIONS MANUAL 10/10/2021



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**NEW PAINT & BODY SHOP BUILDING FOR
SKW INVESTMENTS INC.**
 506 W LANCASTER ROAD ORLANDO FL 32809
 OCU APPLICABLE STANDARD DETAILS

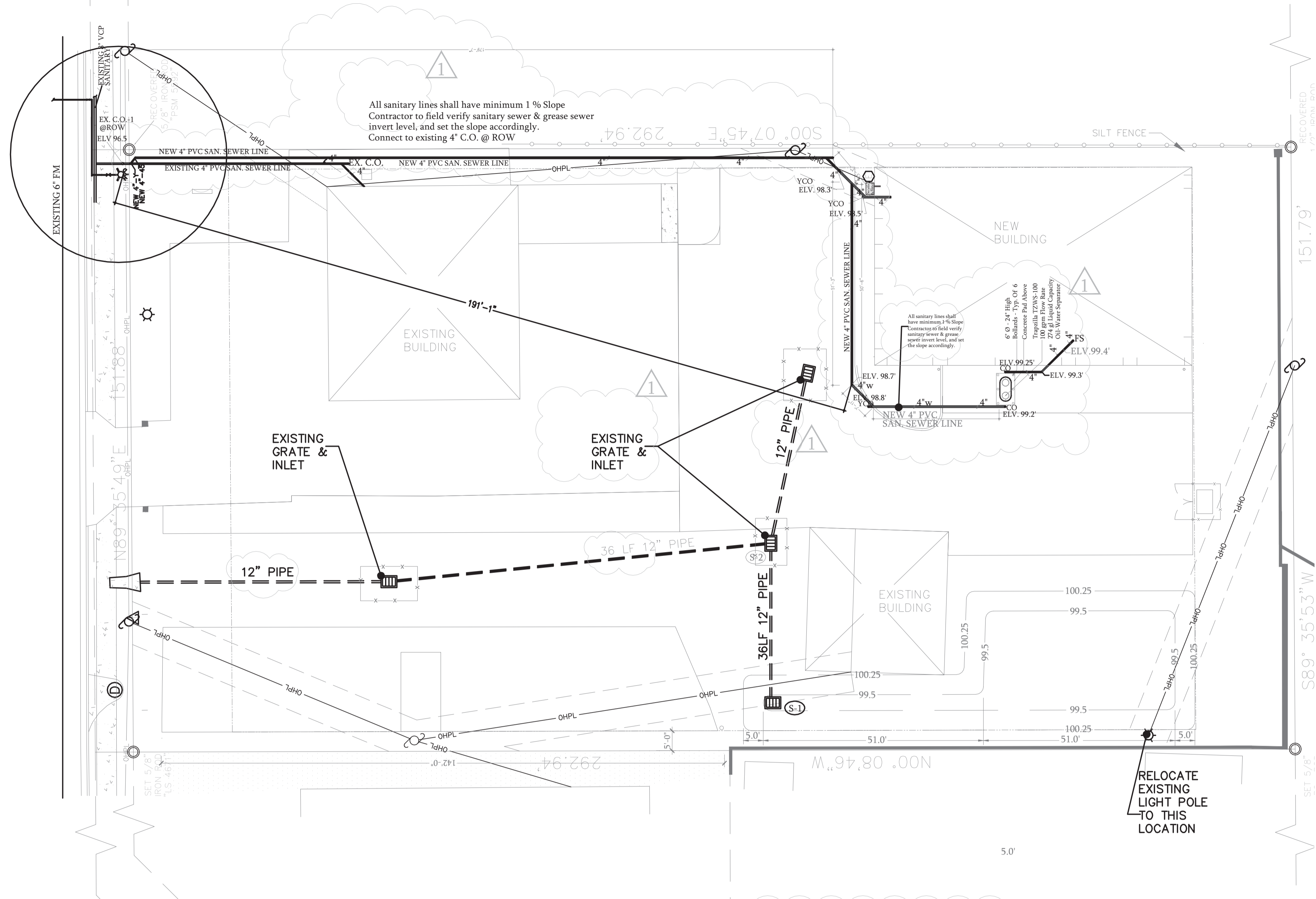
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		DATE: 06/12/21
C3.1	DRAWING NO	SCALE: AS NOTED
		JOB NO. SKW-LN-2
		DESIGN BY: N. CAJAJAR
		CHECKED BY: R. HAUG
		REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG PE
 IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.
ROBERT T. HAUG, P.E. # 24575
 2000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed
 Robert T. Haug
 Date: 2022.06.08
 15:08:55 -04'00'

CONTRACTOR - COPY FOR SUBMITTAL

W. LANCASTER ROAD

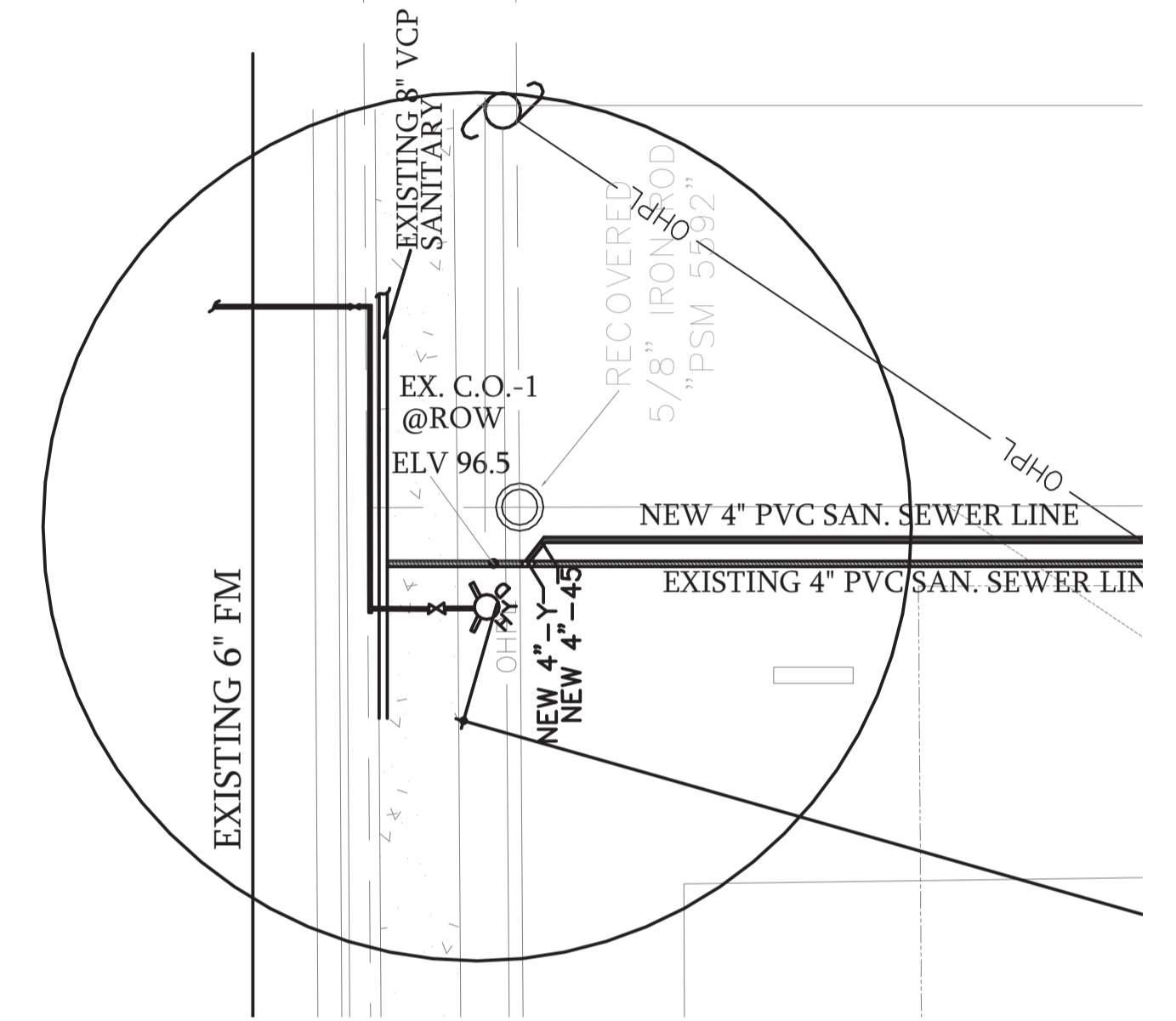


0' 8' 16' **UTILITY PLAN**
Scale: 1/16" = 1'-0"

1. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED AT ALL POINTS OF CONNECTION TO, AND AT ALL AREAS OF CONFLICT WITH OCU MAINS.
2. ALL UTILITIES (INCLUDING PUMP STATION IF APPLICABLE) LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED.
3. MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED WATER, WASTEWATER, AND RECLAIMED WATERLINES.
4. CONTACT YOUR DESIGNATED OCU INSPECTOR AT THE CONSTRUCTION DIVISION AT 407-254-9798 TO SCHEDULE A MEETING PRIOR TO INITIATING CONSTRUCTION TO DISCUSS INSPECTION REQUIREMENTS.

ID Number	Plan Sheet #	Easting	Northing	Elevation	Manufacturer	Model #	Comments
CO-1	C3.2						

ID Number	Plan Sheet #	Easting	Northing	Elevation	Volume (Gallons)	Comments
DW1	C3.2					



	DIRECTION OF FLOW
	EXISTING ELEVATION
	PROPOSED ELEVATION
NOTE: PROPOSED ELEVATIONS AT CURBLINE ARE AT BOTTOM OF CURB FACE. ADD 0.5' TO THESE ELEVATIONS FOR TOP OF CURB HEIGHT. (MEG = MATCH EXISTING GRADE)	
	6" HIGH CLF
	CEMENT BAG RIP-RAP PROTECTION
	SILT FENCE
	HAYBALE BARRICADE
	NUMBER OF PROPOSED PARKING SPACES
	REMOVE EXISTING TREE

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	07/27/21	RS	AS PER 1 ST & 2 ND REVIEW COMMENTS AND VALUE ENGINEERING	OWNER
2	03/07/23	---	OCU INSPECTOR CONTACT NOTE ADDED	---
3	06/09/23	---	---	---
4	07/27/23	---	---	---
5	08/08/23	---	---	---
6	09/06/23	---	---	---
7	09/29/23	---	---	---

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
UTILITY PLAN

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

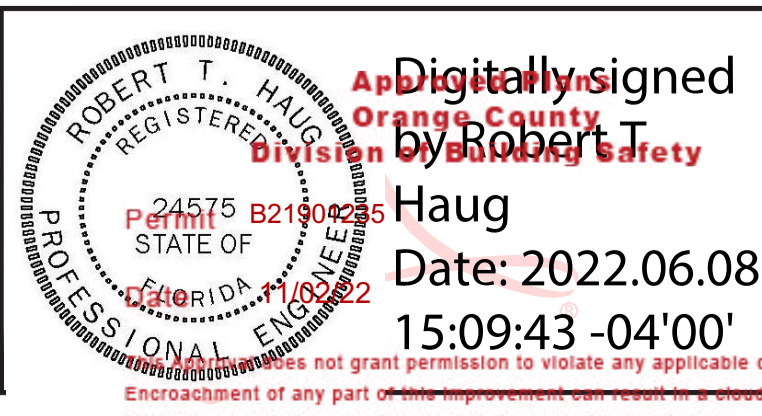
	NORTH
	REVISION
C3.2 DRAWING NO	

SHEET NO: 3
OF SHEETS: 6
DATE: 06/12/21
SCALE: AS NOTED
JOB NO. SKW-LN-2
DESIGN BY: N.GAJJAR
CHECKED BY: R.HAUG
REMARKS: ---

DESIGN REVIEW BY: ROBERT T HAUG PE
IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

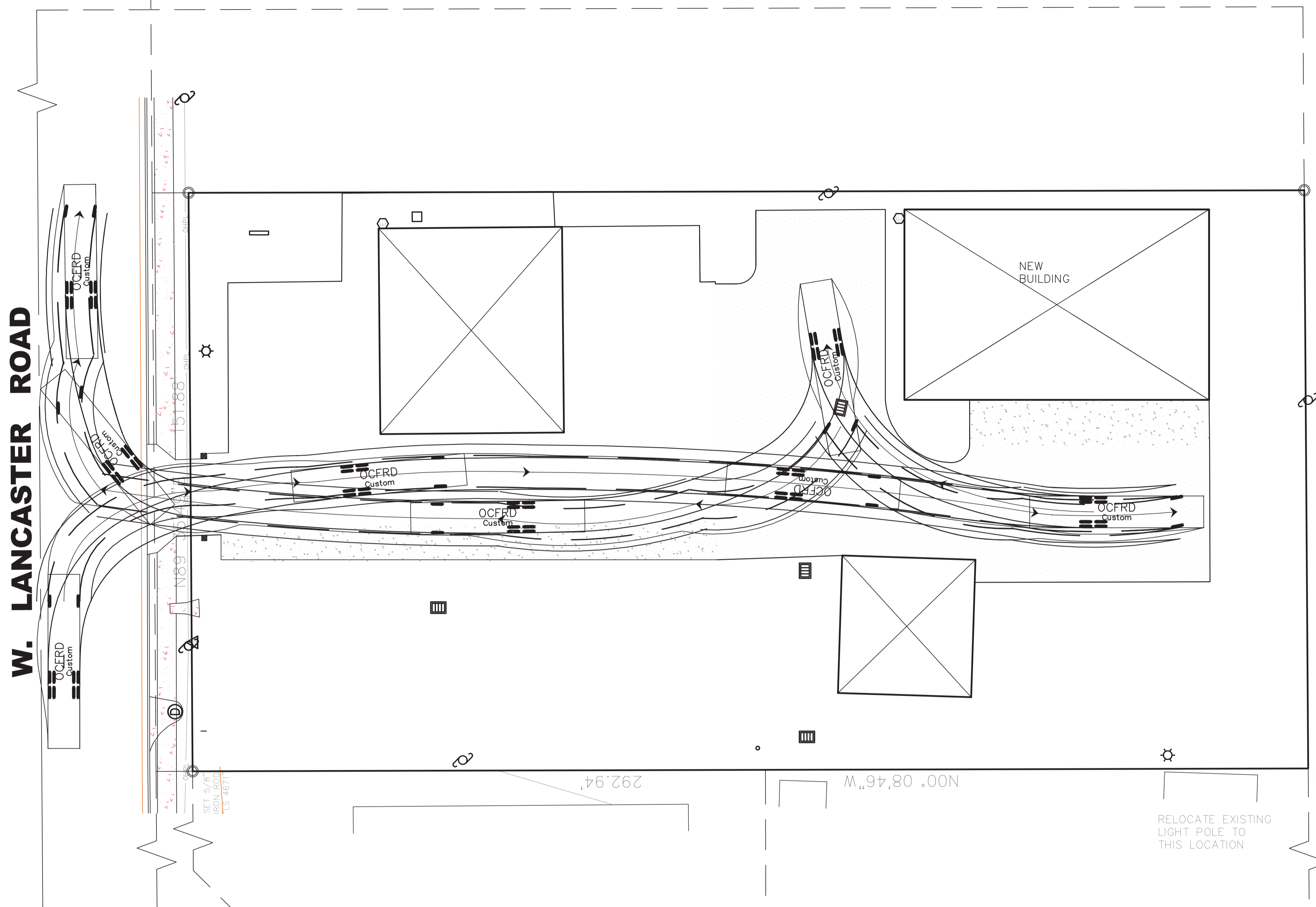
ROBERT T. HAUG,
P.E. # 24575
2000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Date: 2022.06.08
15:09:43 -04'00'



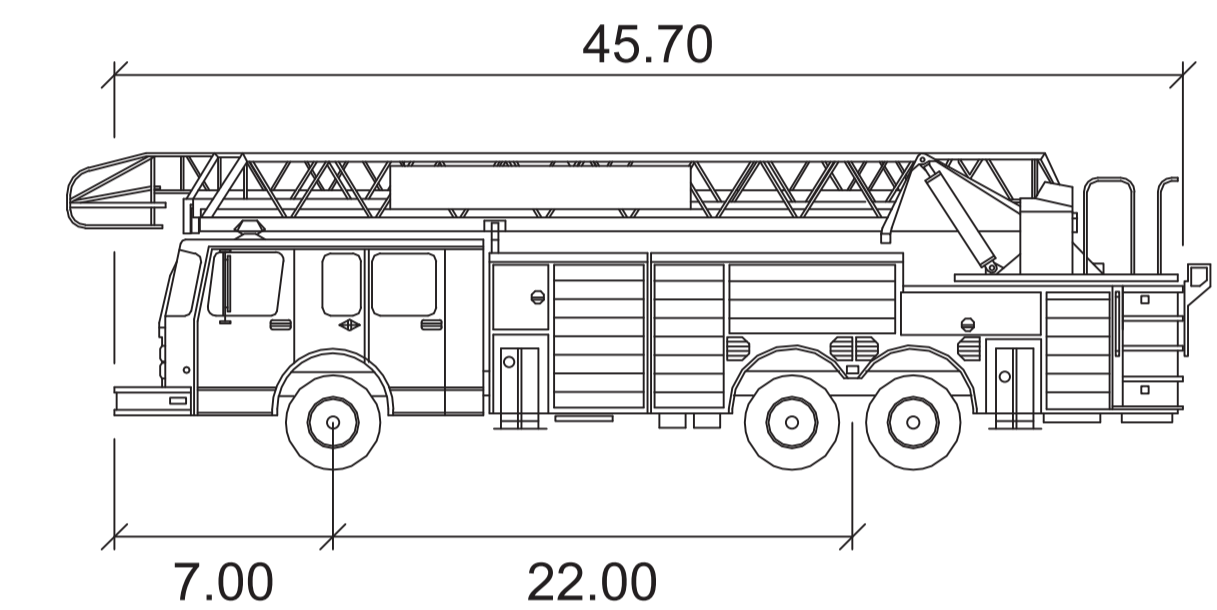
CONTRACTOR COPY FOR SUBMITTAL

W. LANCASTER ROAD



NOTES

- 1) FIRE DEPARTMENT ACCESS ROADS PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. (NFPA 1, 16.1.4).
- 2) A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES. THIS APPLIES TO BOTH COMMERCIAL AND RESIDENTIAL DEVELOPMENTS. (NFPA 1, 16.4.3.1).
- 3) WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK. (NFPA 1, 16.4.3.1.3).
- 4) FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING.
- 5) A 36 IN. CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS AND A CLEAR SPACE OF NOT LESS THAN 60 IN. (1524 MM) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 21/2 IN. NFPA 1, 18.5.7.
- 6) HYDRANT SHALL BE MARKED WITH A BLUE REFLECTOR THAT IS PLACED 6" IN THE ROADWAY IN ACCORDANCE WITH NFPA 1, CHAPTER 18.5.10 (2015)



OCFRD

	feet
Width	: 8.33
Track	: 8.33
Lock to Lock Time	: 6.0
Steering Angle	: 44.2

DESIGN CRITERIA
Florida Fire Prevention Code 7th Edition



NO.	DATE	BY	REVISIONS	COPY ISSUED TO
1	05/21/21	N. GAJAR	SWEPT PATH ANALYSIS AND FIRE TRUCK SPECIFICATIONS	OWNER
2	06/00/00			
3	07/00/00			
4	08/00/00			
5	09/00/00			
6	10/00/00			
7	11/00/00			

**NEW PAINT & BODY SHOP BUILDING FOR
SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
TURNING RADIUS ANALYSIS**

NORTH
 REVISION
C6
 DRAWING NO

SHEET NO: 3
 OF SHEETS: 6
 DATE: 06/12/21
 SCALE: AS NOTED
 JOB NO. SKW-LN-2
 DESIGN BY: N. GAJAR
 CHECKED BY: R. HAUG
 REMARKS: -

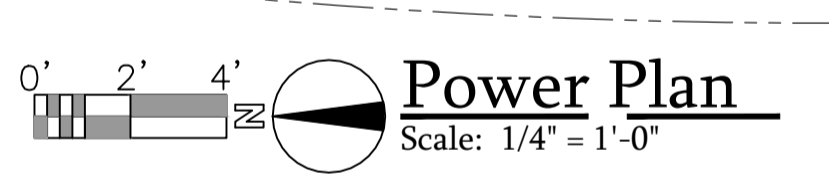
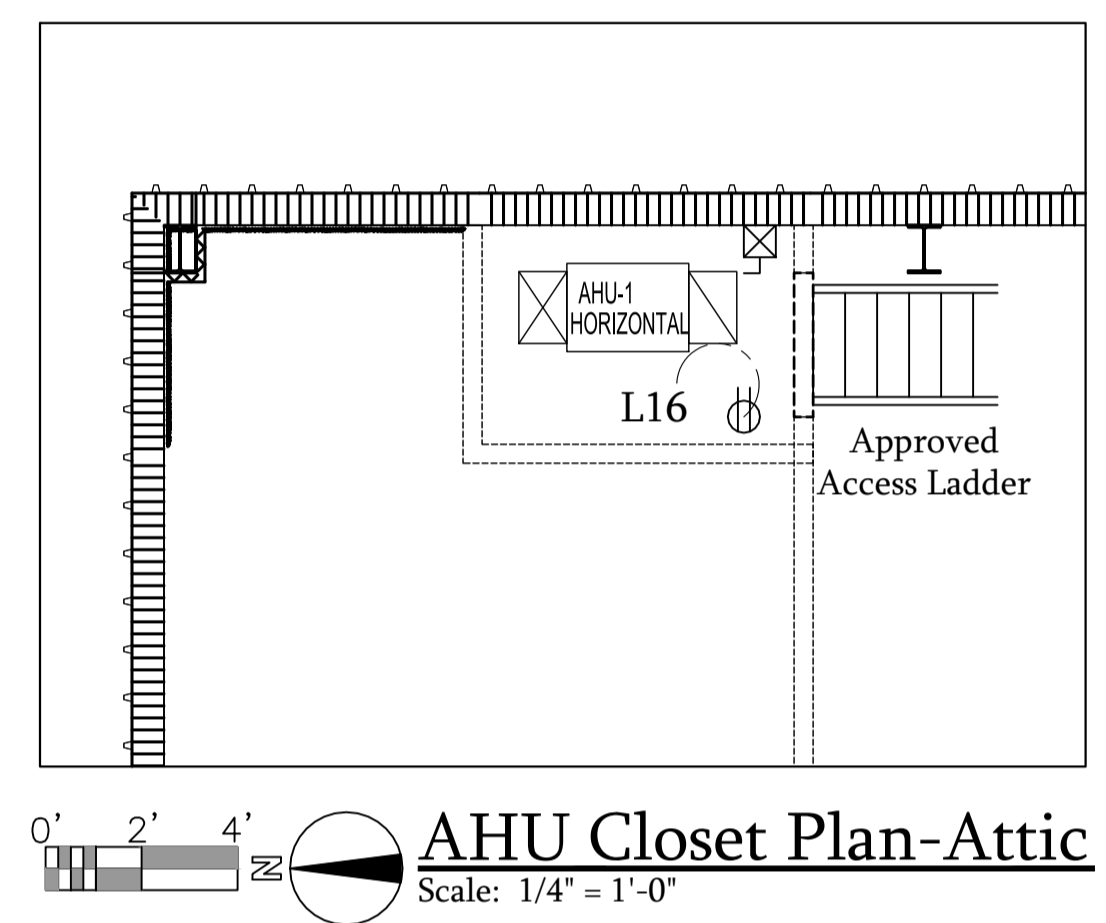
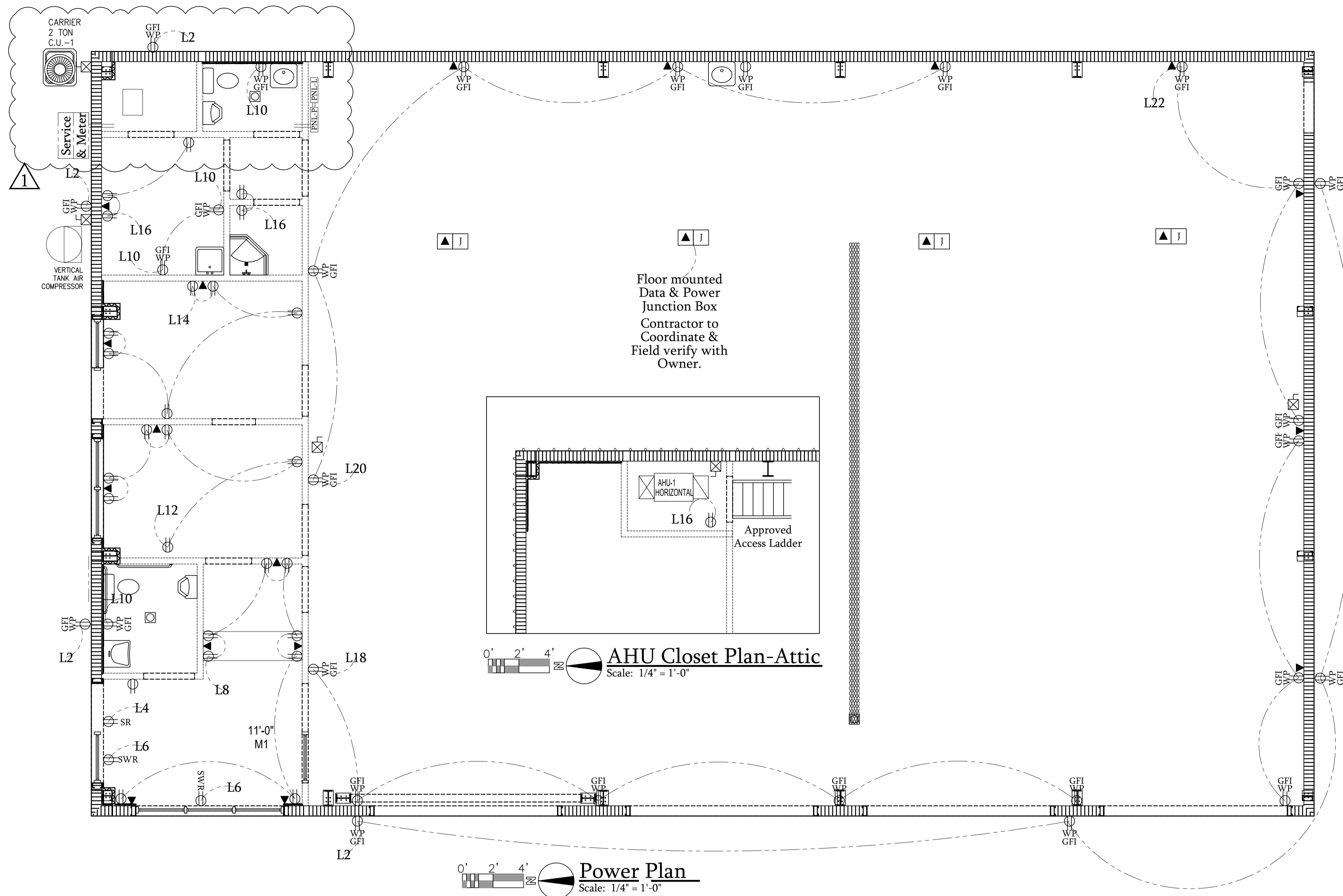
DESIGN REVIEW BY: ROBERT T HAUG PE.
 IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

ROBERT T. HAUG,
P.E. # 24575
 2000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

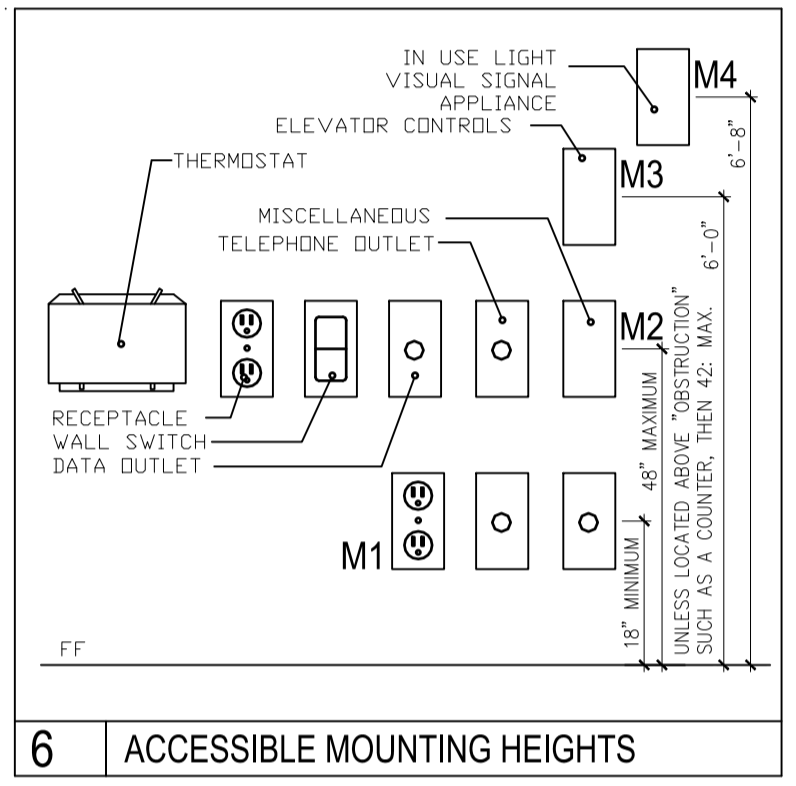
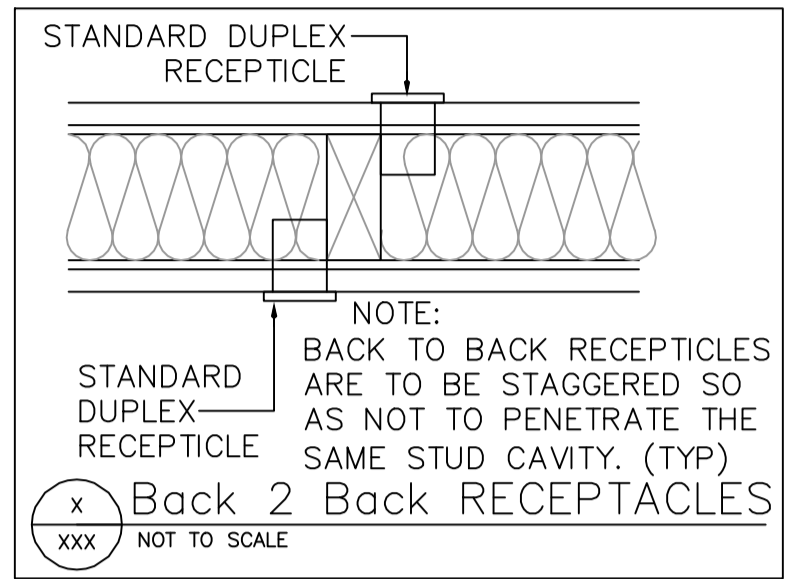
Digitally signed by Robert T. Haug
 Date: 2022.06.08 15:11:13 -04'00'

CONTRACTOR COPY FOR SUBMITTAL

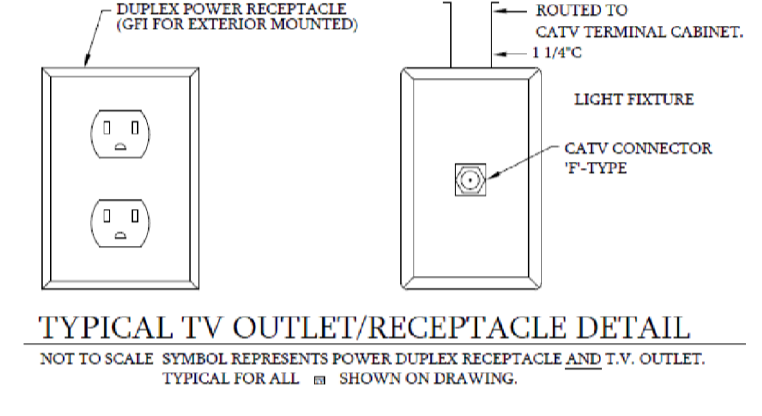
DATE, SIGN, & SEAL



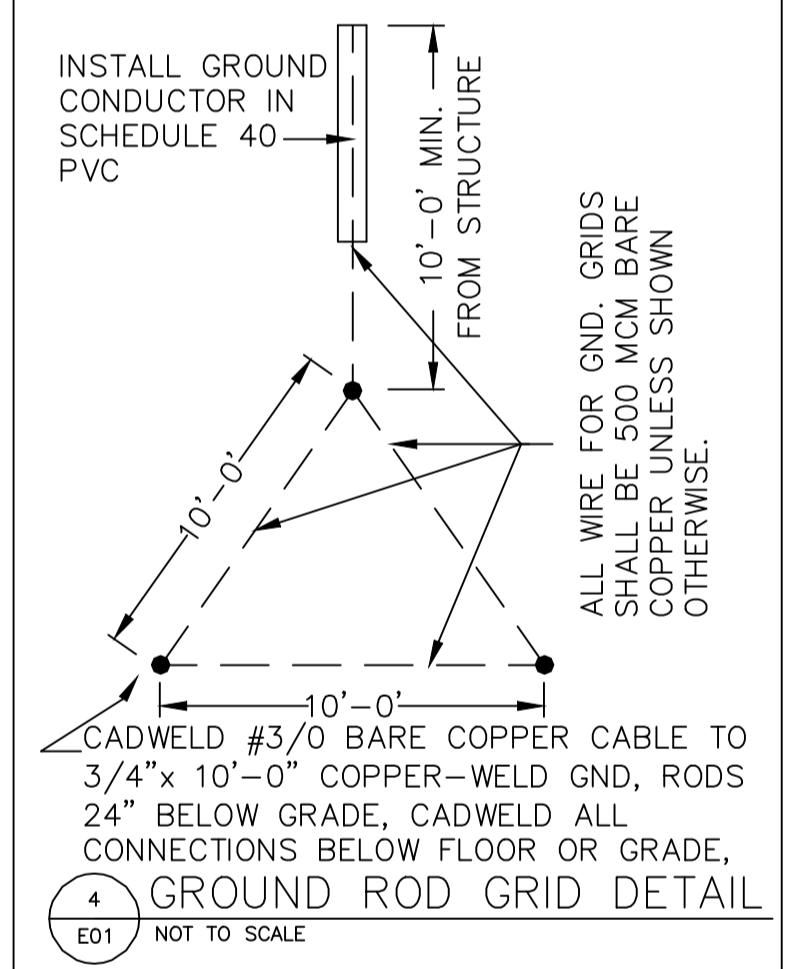
Code Note
 E004d Automatic receptacle control: the provisions for electrical distribution for all sections of this code are subject to the design conditions in asrae standard 90.1, section 8.4.2. (c405.6.1) controlled receptacles shall be marked according to 2014 nec article 406.3 (e). E0011c Show window receptacles required and installed within 18 inches of the top of the window. (article 210.62). Receptacle within 6' of water outlets shall be GFI. Receptacles shall be half controlled receptacles tied into occupancy sensors which control the space. receptacles to be p+s r receptacles and signal pack or similar. controlled receptacles installed per FBC EC code chapter 4 section (405.6) shall be permanently marked as per NEC 406.3 (e) visually differentiate them from uncontrolled receptacles.



POWER GENERAL NOTES
 1. COORDINATE EXACT RECEPTACLE AND DATA LOCATIONS WITH FURNITURE AND OWNER.
 2. MOUNT RECEPTABLES & DATA OUTLETS WITHIN CASE WORK. COORDINATE EXACT MOUNTING WITH MILL WORK.
 3. LOCATE RECEPTACLE ON UNIT AS SERVICE RECEPTACLE. DO NOT ROUTE CONDUIT ON OR ABOVE ROOF.
 4. USE #12 MC CABLE FOR THE ENTIRE CIRCUIT.



6 ACCESSIBLE MOUNTING HEIGHTS



Power Legend

- ⊕ 120 volt duplex outlet mMounted at 16" A.F.F. (typical) unless noted
- ⊕ 120 volt quad outlet mounted at 16" A.F.F. (typical) unless noted
- ⊕ 120 volt outlet floor mounted
- #" # represents height mounted A.F.F.
- ⊕ Ceiling mounted
- GFI Ground fault interruptor
- 220 220 volt - 3 phase outlet
- ⊕ Special purpose outlet - see plans
- ⊕ Junction or outlet box - 4" square
- ⊕ Main power panel
- ▶ Phone / Data jack

PANEL - L									
Ckt.	DESCRIPTION	LOAD (VA)			BKR.	BRANCH CIRCUIT			Ckt.
		OA	OB	OC		BR.	OA	OB	
1	Office Lighting	310			20				2
3	Workshop Aisle-1 Lighting	300			20				4
5	Workshop Aisle-2 Lighting	300			20				6
7	Workshop Aisle-3 Lighting	300			20				8
9	Workshop Aisle-4 Lighting	300			20				10
11	Building Exterior Lighting	200			20				12
13	Emergency/ Exit Lighting	75			20				14
15	Space								16
17	Space								18
19	Space								20
21	Space								22
23	Space								24
25	Space								26
27	Space								28
29	Space								30
31	Space								32
33	Space								34
35	Space								36
37	Space								38
39	Space								40
41	Space								42
SUB-TOTALS		685	600	500					

LOAD SUMMARY
 PANEL Panel - L
 TYPE - SERVICE 120/208V-3Ø, 4W, SN, CU/ BUS
 A.I.C. 10,000 MTG. SURFACE
 MAINS 200A LOCATION WORKSHOP NE CORNER
 Total Connected Load (VA) : 16701-VA
 16701 VA / 208 = 80.3 / 1.732 = 46.36 = 46.35A @ 208V, 3Ø

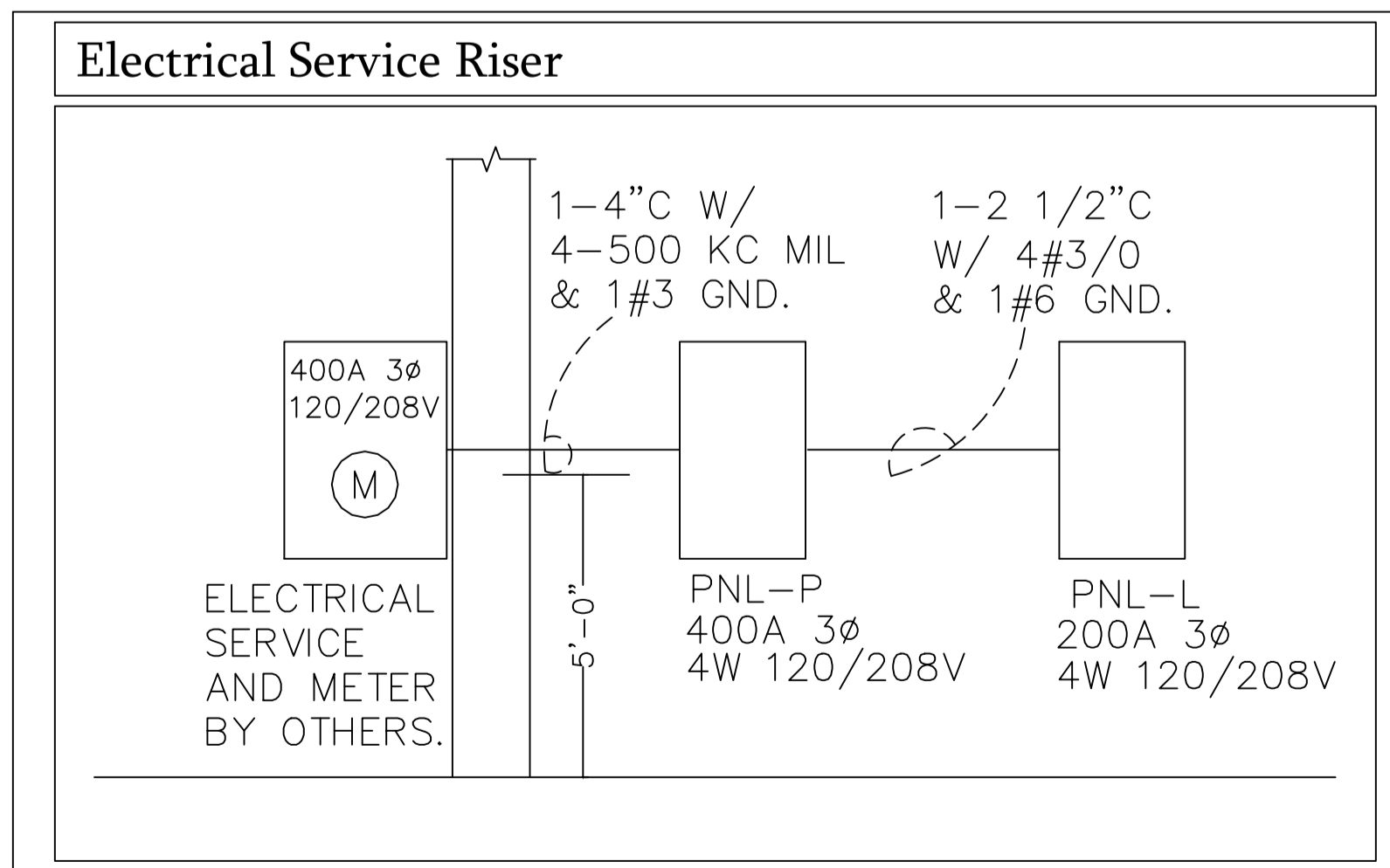
PANEL - P									
Ckt.	DESCRIPTION	LOAD (VA)			BKR.	BRANCH CIRCUIT			Ckt.
		OA	OB	OC		BR.	OA	OB	
1	Paint Booth Power	410			40				2
3	2 Post Lift Power	700			40				4
5	Compressor	2160			50				6
7	Interior GFI Receptacles	720			20				8
9	Office-1 Receptacles	1080			20				10
11	Office-2 Receptacles	1080			20				12
13	CU-1	1335			20				14
15	Paint Mixing Receptacles	900			20				16
17	Instant Water Heater-2	900			20				18
19	Instant Water Heater-1	1000			20				20
21	Instant Water Heater-3	1000			20				22
23	Space								24
25	CU-2	1920			20				26
27	Space								28
29	Space								30
31	Space								32
33	Space								34
35	Space								36
37	Space								38
39	Sub Panel - "L"	5725			40				40
41	Lighting & Surge Protector	4500			40				42
SUB-TOTALS		11090	8865	7190					

LOAD SUMMARY
 PANEL Panel - P
 TYPE - SERVICE 120/208V-3Ø, 4W, SN, CU/ BUS
 A.I.C. 10,000 MTG. SURFACE
 MAINS 400A LOCATION WORKSHOP NE CORNER
 Total Connected Load (VA) : 50411-VA
 42731 VA / 360 V = 140 A = 140.0 A @ 208V, 3Ø

F.E.C.C. Lighting Allowance
 Lighting wattage allowance is calculated on the building area method per FBC 2020-Energy Table C405.3.2
 Table allowance for Automotive Facility space is 0.71 w/sqft.
 Total interior lighting wattage is 1785.
 Gross area is 4000 sqft.
 1785/4000 = 0.45
 So building lighting allowance is compliant.

8.4.2 - Automatic Receptacle Control
 At least 50% of all 125 volt -15- and 20-Ampere receptacles including those installed in modular partitions, installed in the following space types:
 1 - Private offices , 2 - Open offices
 3 - Computer Classrooms
 shall be controlled by an automatic control device that shall function on:
 A - A scheduled basis using a time-of-day operated control device that turns receptacles off at specific programmed times an independent program schedule shall be provided for areas of no more than 25 000 sf but no more than one floor or
 B - An occupant sensor that shall turn receptacles off within 30 minutes of all occupants leaving a space or
 C - A signal from another control or alarm system that indicates the area is unoccupied.
 Exceptions: Receptacles for the following shall not require an automatic control device.
 A - Receptacles specifically designated for equipment required 24 hour operation.
 B - Spaces where an automatic shut-off would endanger the safety or security of the room or building occupant (s)

Show Window & Sign Outlets
 Show Window Outlets as per 220.43
 200 VA / Liner Foot
 9'-8" x 200 = 1933
 3'-4" x 200 = 667
 Total 2600 VA - 2600 x 1.25 = 3250 VA
 Sign Outlets as per 220.14(F)
 1200 VA / Each
 1 x 1200 = 1200
 Total 1200 VA - 1200 x 1.25 = 1500 VA



NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	09/08/21	N GAJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	00/00/00			
3	00/00/00			
4	00/00/00			
5	00/00/00			
6	00/00/00			
7	00/00/00			

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
 500 W LANCASTER ROAD ORLANDO FL 32809
 ELECTRICAL POWER PLAN -DETAILS - NOTES
 PANEL SCHEDULES & RISER

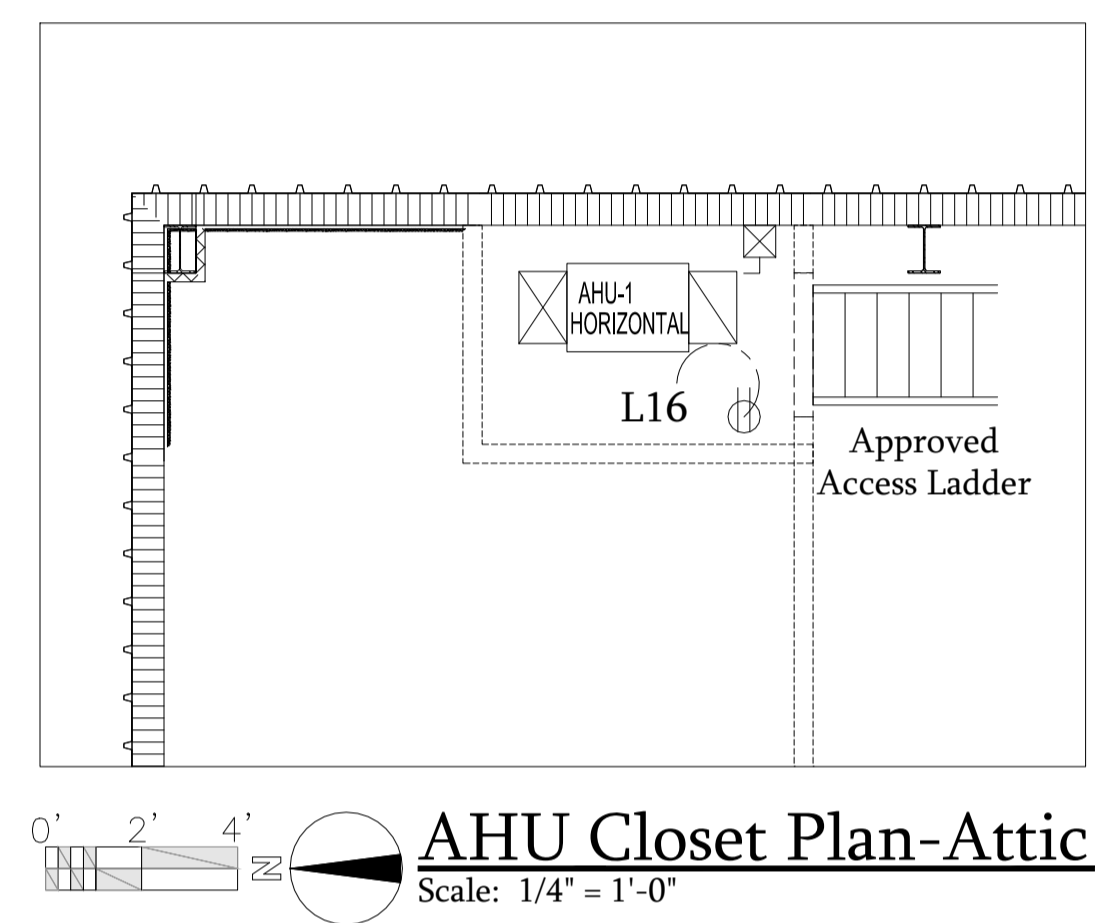
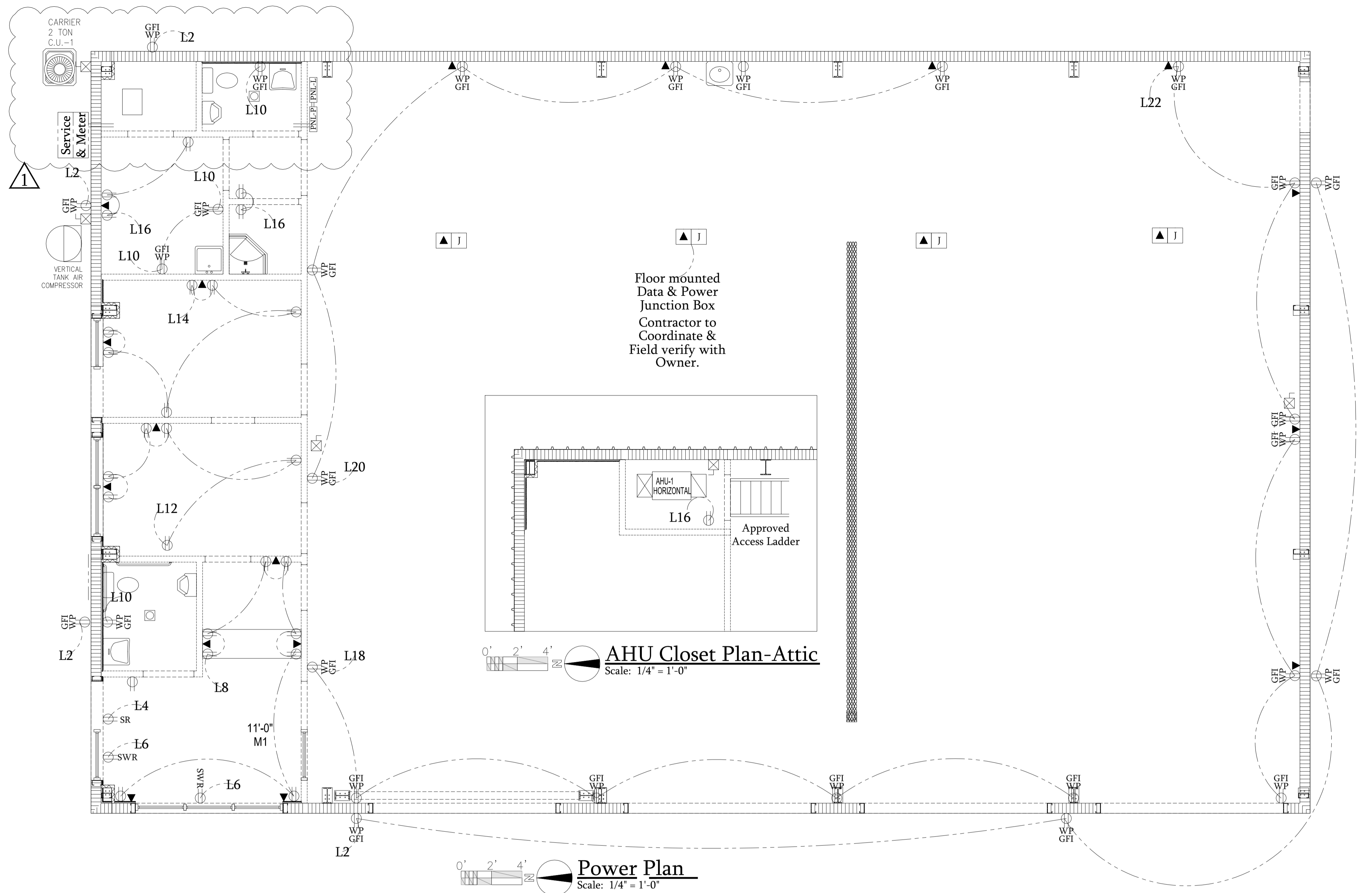
E1
 DRAWING NO

REVISION
 NORTH
 SHEET NO: 12
 OF SHEETS: 14
 DATE: 12/12/20
 SCALE: AS NOTED
 JOB NO. SKW-LN-1
 DESIGN BY: N.GAJAR
 CHECKED BY: R. HAUG.
 REMARKS:

DESIGN REVIEW BY: ROBERT T HAUG PE
 IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
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ROBERT T. HAUG, P.E. # 24575
 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Approved Plans
 Digitally signed by Robert T Haug
 Date: 2021.10.06 09:51:17 -04'00'
 P 24575 B218092B5
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 No. 140922

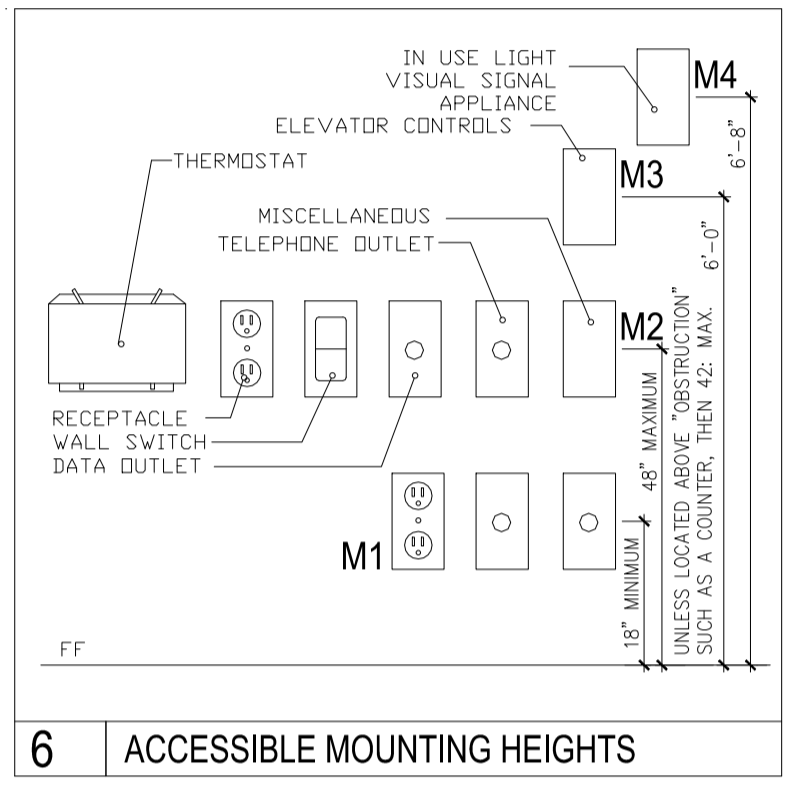
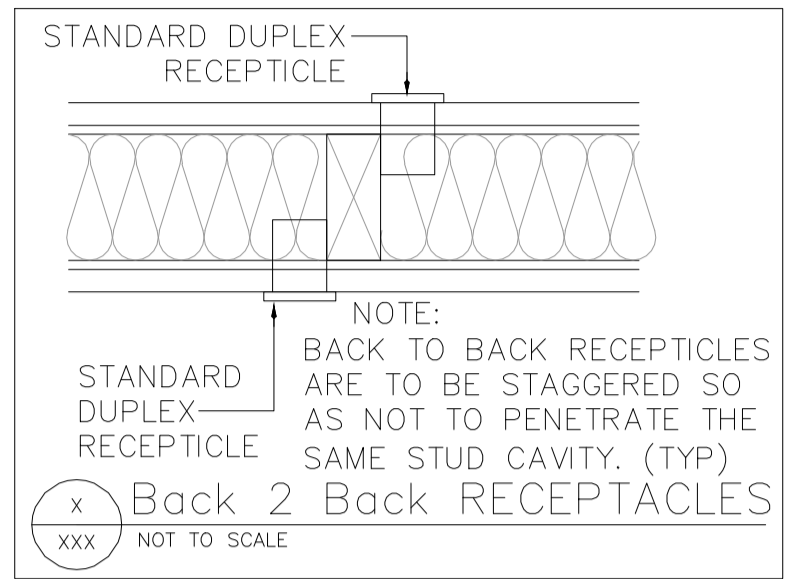
CONTRACTOR - COPY FOR SUBMITTAL



AHU Closet Plan-Attic
Scale: 1/4" = 1'-0"

Power Plan
Scale: 1/4" = 1'-0"

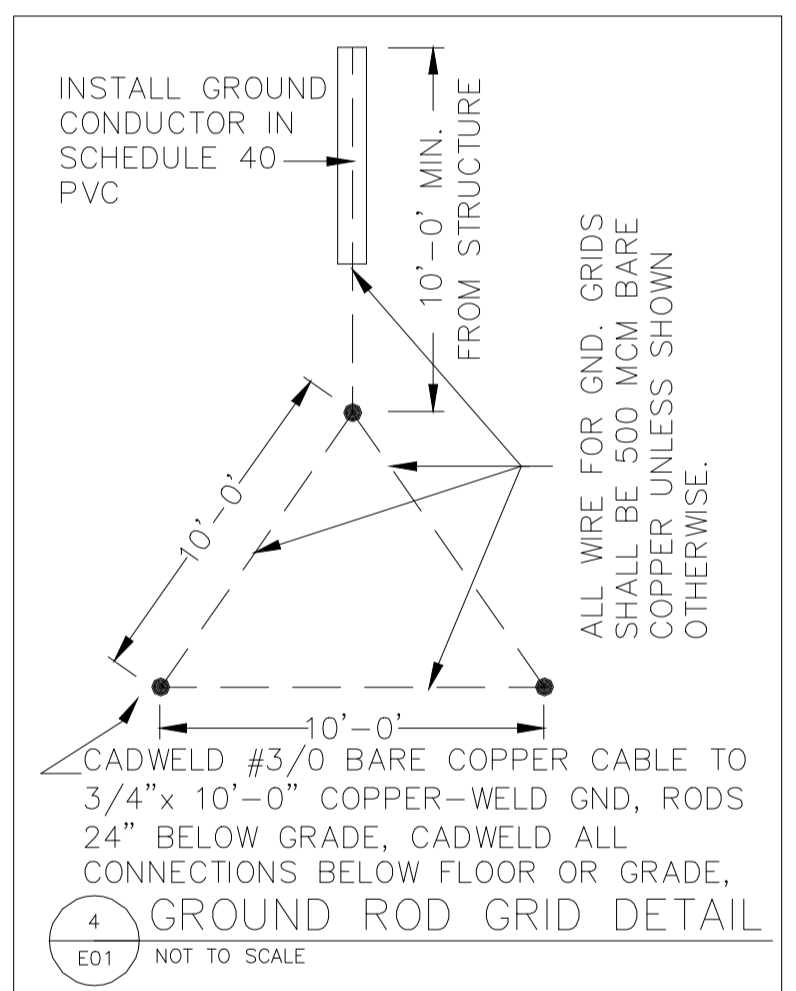
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4. USE #12 MC CABLE FOR THE ENTIRE CIRCUIT.

Power Legend

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- 120 volt quad outlet mounted at 16" A.F.F. (typical) unless noted
- 120 volt outlet floor mounted
- #" # represents height mounted A.F.F.
- Ceiling mounted
- GFI Ground fault interruptor
- 220 220 volt - 3 phase outlet
- Special purpose outlet - see plans
- Junction or outlet box - 4" square
- [PANEL] Main power panel
- [] Phone / Data jack



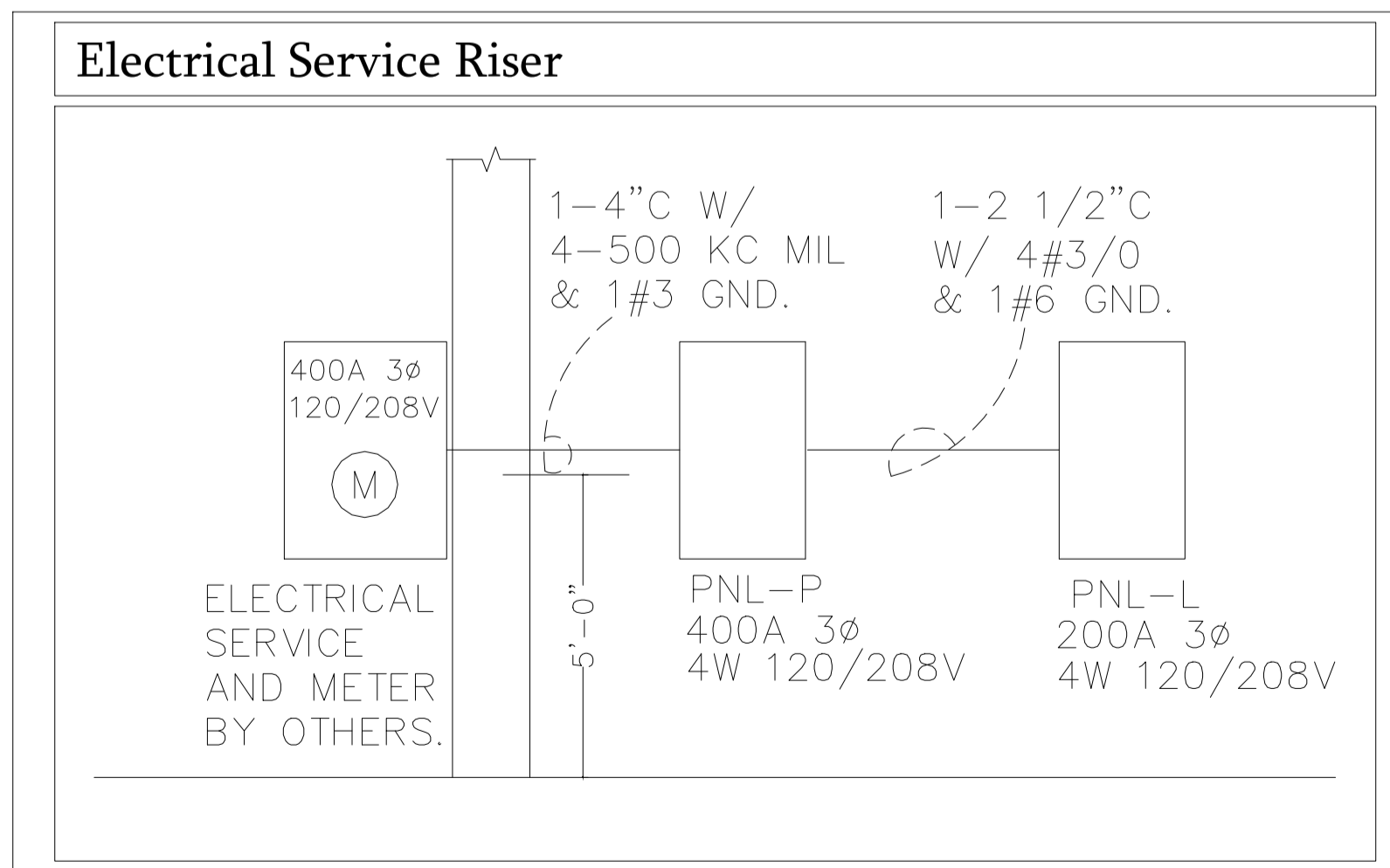
PANEL - L										
Ckt.	DESCRIPTION	LOAD (VA)			BRK.	BRANCH CIRCUIT			Ckt.	
		OA	OB	OC		BRK.	LOAD (VA)	DESCRIPTION		
1	Office Lighting	310			20	20	1260	Exterior GFI Receptacles	2	
3	Workshop Aisle-1 Lighting	300			20	20	1200	Sign Receptacle	4	
5	Workshop Aisle-2 Lighting	300			20	20	1620	Show Window Receptacles	6	
7	Workshop Aisle-3 Lighting	300			20	20	720	Lobby & Front Receptacles	8	
9	Workshop Aisle-4 Lighting	300			20	20	1080	Interior GFI Receptacles	10	
11	Emergency/ Exit Lighting	75			20	20	1080	Office-1 Receptacles	12	
13	Space				20	20	900	Office-2 Receptacles	14	
15	Space				20	20	900	Paint Mixing Receptacles	16	
17	Space				20	20	1080	North-West Shop Receptacles	18	
19	Space				20	20	1080	North-East Shop Receptacles	20	
21	Space				20	20	1080	South Shop Receptacles	22	
23	Space				20	20		Space	24	
25	Space				20	20	1920	Space	26	
27	Space				20	20		Space	28	
29	Space				20	20		Space	30	
31	Space				20	20		Space	32	
33	Space				20	20		Space	34	
35	Space				20	20		Space	36	
37	Space				20	20		Space	38	
39	Space				20	20		Space	40	
41	Space				20	20		Space	42	
SUB-TOTALS		685	600	300			5040	3900	4580	

PANEL - P										
Ckt.	DESCRIPTION	LOAD (VA)			BRK.	BRANCH CIRCUIT			Ckt.	
		OA	OB	OC		BRK.	LOAD (VA)	DESCRIPTION		
1	Paint Booth Power	410			40	40	850	4 Post Frame Lift Power	2	
3	2 Post Lift Power	700			40	40	2160	Compressor	8	
5	Space				20	20	2160	Space	10	
9	CU-1	1335			20	20	2500	AHU-1	14	
11	Space				20	20	2500	Instant Water Heater-1	16	
13	Space				20	20	1000	Instant Water Heater-2	18	
15	Space				20	20	1000	Instant Water Heater-3	20	
17	Space				20	20	1920	AC-1	24	
19	Space				20	20		Space	26	
21	Space				20	20		Space	28	
23	Space				20	20		Space	30	
25	Space				20	20		Space	32	
27	Space				20	20		Space	34	
29	Space				20	20		Space	36	
31	Space				20	20		Space	38	
33	Space				20	20		Space	40	
35	Space				20	20		Space	42	
37	Sub Panel - "L"	5725					4880	Lighting & Surge Protector	40	
39	Space							Space	42	
41	Space							Space	42	
SUB-TOTALS		11090	8865	6990			8430	8430	5010	

F.E.C.C. Lighting Allowance
Lighting wattage allowance is calculated on the building area method per FBC 2020-Energy Table C405.3.2
Table allowance for Automotive Facility space is 0.71w/sqft. Total interior lighting wattage is 1785. Gross area is 4000 sqft. 1785/4000 = 0.45
So building lighting allowance is compliant.

8.4.2 - Automatic Receptacle Control
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Show Window & Sign Outlets
Show Window Outlets as per 220.43
200 VA / Liner Foot
9'-8" x 200 = 1933
3'-4" x 200 = 667
Total 2600 VA - 2600 x1.25 = 3250 VA
Sign Outlets as per 220.14(F)
1200 VA / Each
1 x 1200 = 1200
Total 1200 VA - 1200 x1.25=1500 VA



NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	09/08/21	N GAJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	OC/OWNER
2	00/00/00			
3	00/00/00			
4	00/00/00			
5	00/00/00			
6	00/00/00			
7	00/00/00			

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
ELECTRICAL POWER PLAN -DETAILS - NOTES
PANEL SCHEDULES & RISER

E1
DRAWING NO

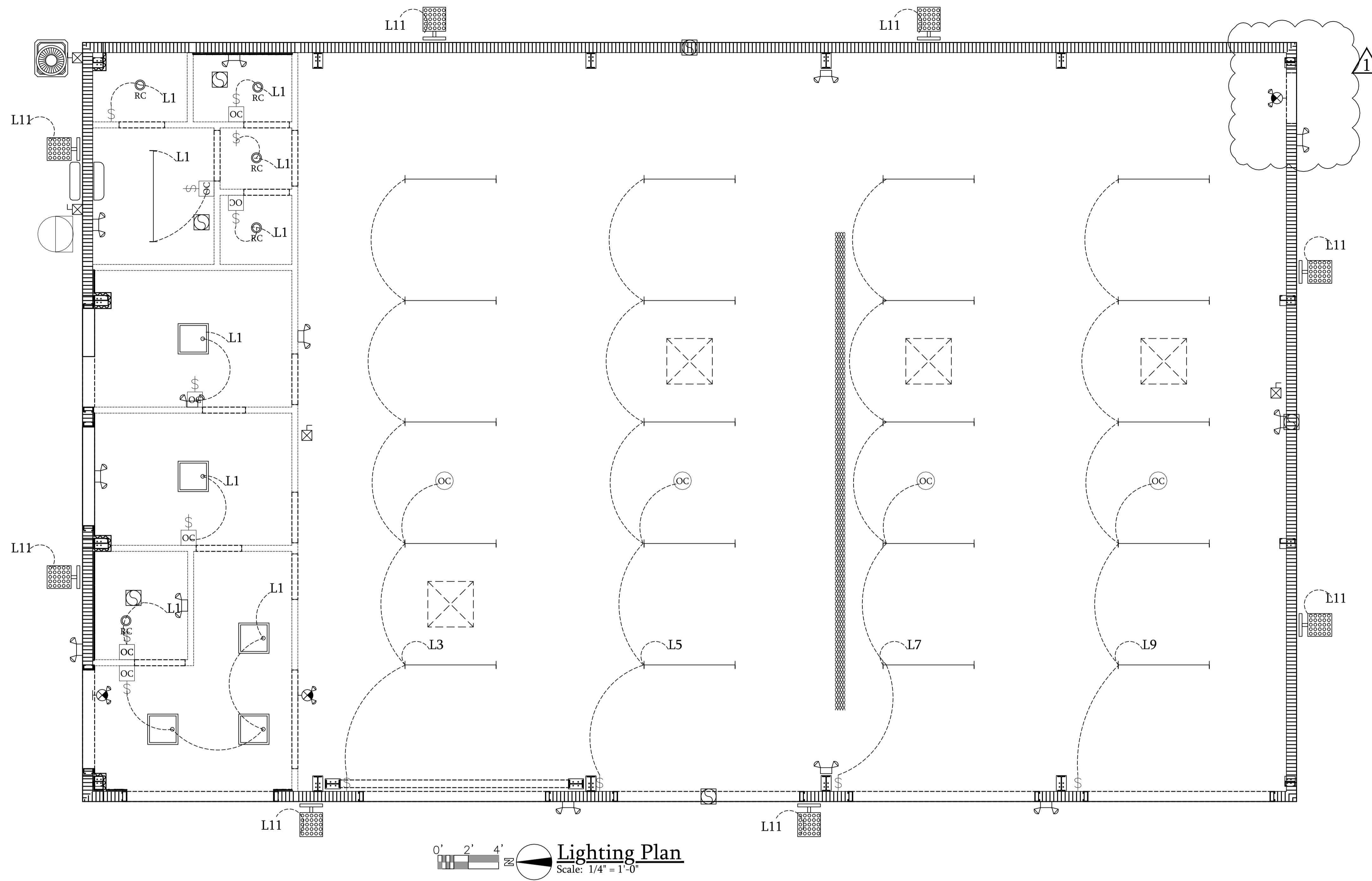
SHEET NO: 12
DATE: 12/12/20
SCALE: AS NOTED
JOB NO. SKW-LN-1
DESIGN BY: N.GAJAR
CHECKED BY: R. HAUG.
REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG P.E.
VERIFIED ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

ROBERT T. HAUG
P.E. # 24575
EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

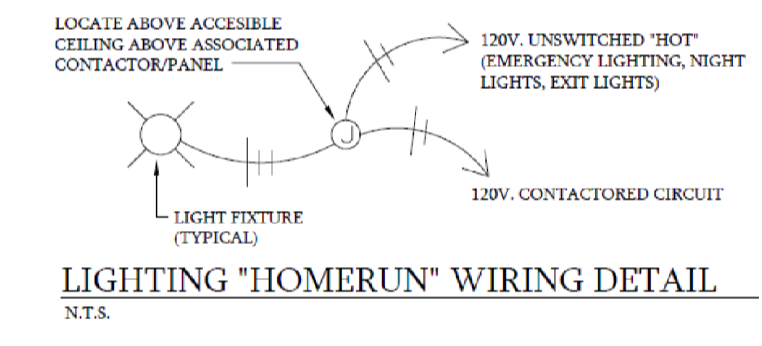
Digitally signed by Robert T. Haug
Date: 2022.06.06 12:22:53 -04'00'

CONTRACTOR COPY FOR SUBMITTAL



Lighting Plan
Scale: 1/4" = 1'-0"

- LIGHTING GENERAL NOTES**
- NIGHT LIGHTS (NL), EXIT LIGHTS, AND EMERGENCY BATTERY PACKS SHALL BE CONNECTED TO UNSWITCHED LEG OF LOCAL LIGHTING CIRCUIT.
 - ALL LOW VOLTAGE CABLE FOR LOW VOLTAGE SWITCHES AND OCCUPANCY SENSORS SHALL BE TYPE II PLENUM RATED CABLE AS RECOMMENDED BY THE MANUFACTURER.
 - ALL OCCUPANCY SENSORS/VACCANCY SENSORS SHALL BE SET TO TIME OUT AFTER 30 MINUTES.
 - CONTRACTOR SHALL SUBMIT MANUFACTURERS SHOP DRAWINGS SHOWING DEVICE LOCATIONS, AREA OF COVERAGE, AND DETAILED DESCRIPTIONS OF DEVICES USED.
 - MOUNT ENGRAVED NAMEPLATE ON CEILING GRID DIRECTLY BELOW POWER/SWITCH PACKS INDICATING OCCUPANCY/VACCANCY SENSOR POWER/SWITCH PACK LOCATION.
 - REFER TO MECHANICAL EQUIPMENT SCHEDULE ON SHEET M2 FOR CONNECTION TO HVAC AND PLUMBING EQUIPMENT.
 - COORDINATE FINAL FIXTURE LOCATIONS AND TYPES WITH ARCHITECTURAL DRAWINGS

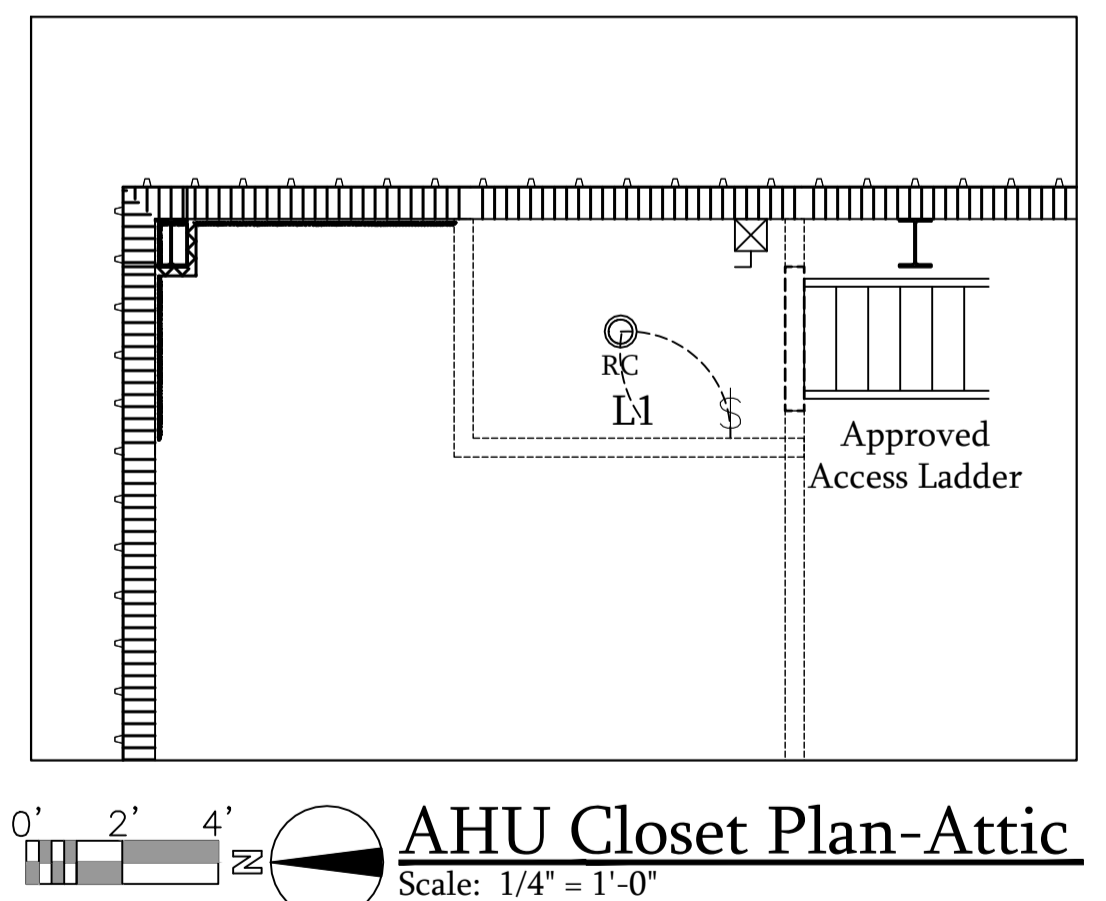


Fixture Schedule Note

All fixtures selected by owner contractor to confirm all fixture selections prior to commencing work. Design based on volt-amps shown on if different fixtures are selected with higher volt-amp requirements it is the contractor's responsibility to adjust circuitry as required to accommodate the changes and consult with engineer as necessary.

Lighting Legend

- Single switch
- 8' long led strip light
- Led exterior light, fixed down light fixture
- Occupancy sensor - wall mounted
- Occupancy sensor - ceiling mounted
- Drop in 2' x 2' fluorescent fixture
- Directional recessed can fixture
- Emergency light battery backup - wall mounted
- Emergency light / Exit sign wall mounted combo fixture with battery backup - directional arrow where noted



LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	VOLTS	LAMPS	VOLT-AMPS	MOUNTING
RC	EURI 6" DLCS-2040e ULTRATHIN 12W, 900 LUMEN, 4000 KELVIN SURFACE MOUNT ON J BOX SUPPLY WITH BATTERY BACKUP	120	1-15W R30 LED	15	RECESSED IN GYPSUM CEILING WITH FLANGE.
	8' LONG LED STRIP LIGHT	120	1-96" LED	60	CEILING MTD
	LED EXTERIOR LIGHT, FIXED DOWN LIGHT FIXTURE	120	LED	40	WALL MOUNTED ON POLE
	2'x2' LED GRID TROFFER NICOR T6C22HU4D, 35W, 4480 LUMEN, 4000 KELVIN	120	INTEGRAL	35	T-BAR
	EMERGENCY BATTERY PACK LIGHT FIXTURE WALL MOUNTED.	120	2-LED	5	WALL MOUNTED
EXIT	LED EXIT LIGHT, RED. SELF POWERED WITH SEALED NI-CAD BATTERY AND SELF DIAGNOSTICS SURE-LITES CX OR EQUAL	120	LED	5	UNIVERSAL SURFACE MOUNTED

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	09/08/21	N GAJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	00/00/00	---	---	---
3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
500 W LANCASTER ROAD ORLANDO FL 32809
ELECTRICAL LIGHTING PLAN -DETAILS - NOTES
LIGHTING FIXTURE SCHEDULE

E2
DRAWING NO

REVISION

SHEET NO: 13
OF SHEETS: 14
DATE: 12/12/20
SCALE: AS NOTED
JOB NO. SKW-LN-1
DESIGN BY: N.GAJAR
CHECKED BY: R.HAUG
REMARKS: -

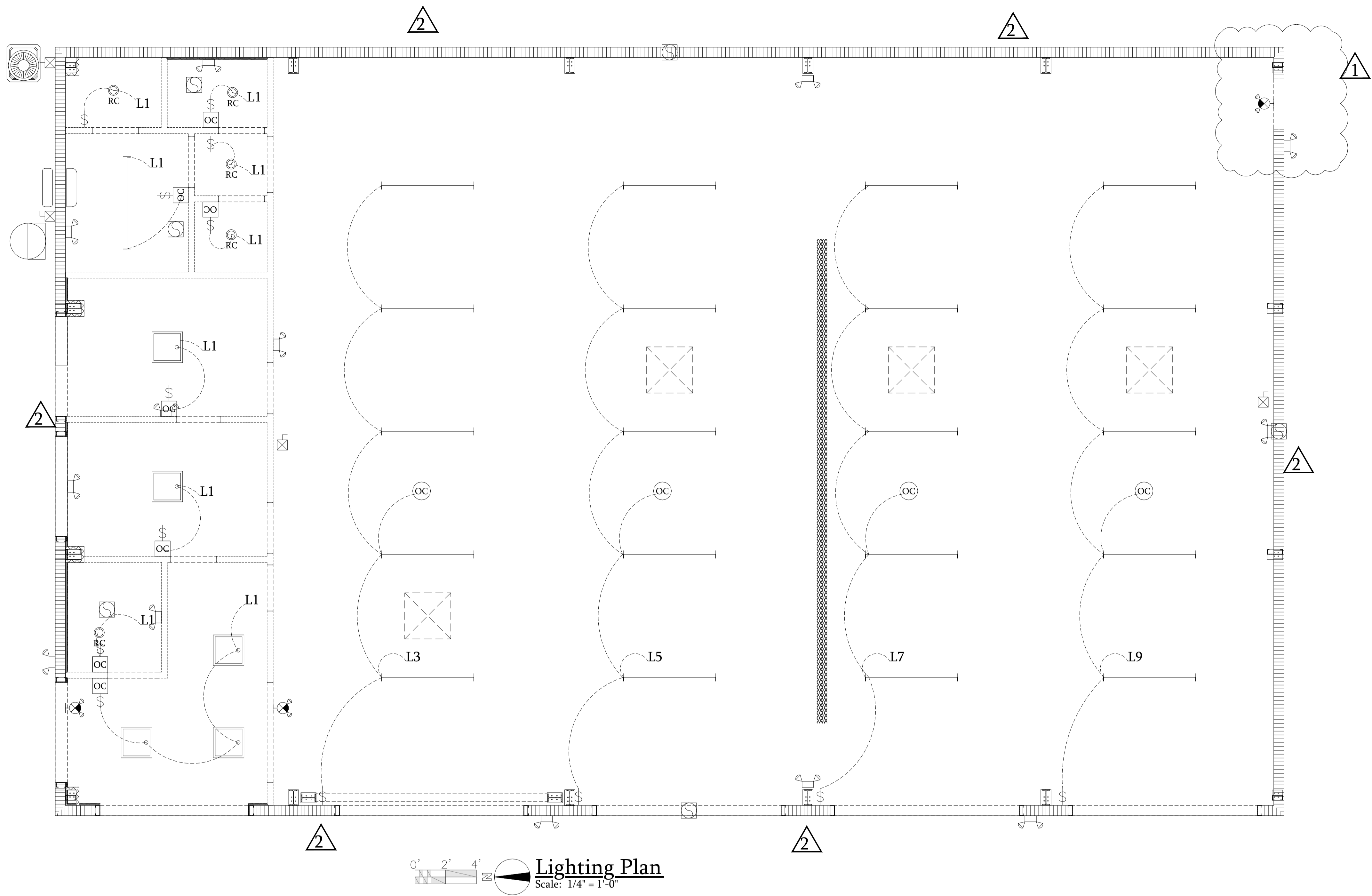
DESIGN REVIEW BY: ROBERT T HAUG PE
I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
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ROBERT T. HAUG,
P.E. # 24575
000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed
Orange County
Division of Building Safety
Robert T. Haug
Date: 2021.10.06
09:52:37 -04'00'

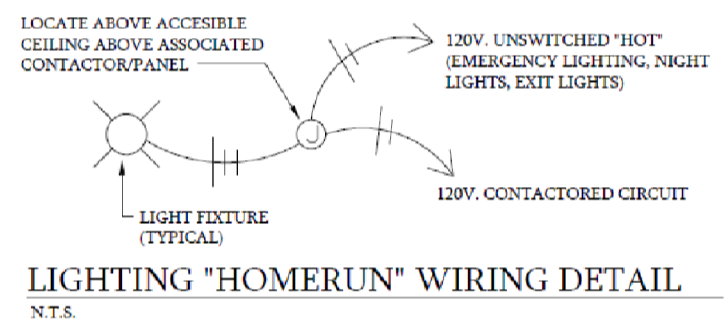
ROBERT T. HAUG
REGISTERED PROFESSIONAL ENGINEER
P. 24575 B21902285
STATE OF FLORIDA
10/06/2021

CONTRACTOR COPY FOR SUBMITTAL



Lighting Plan
Scale: 1/4" = 1'-0"

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- NIGHT LIGHTS (NL), EXIT LIGHTS, AND EMERGENCY BATTERY PACKS SHALL BE CONNECTED TO UNSWITCHED LEG OF LOCAL LIGHTING CIRCUIT.
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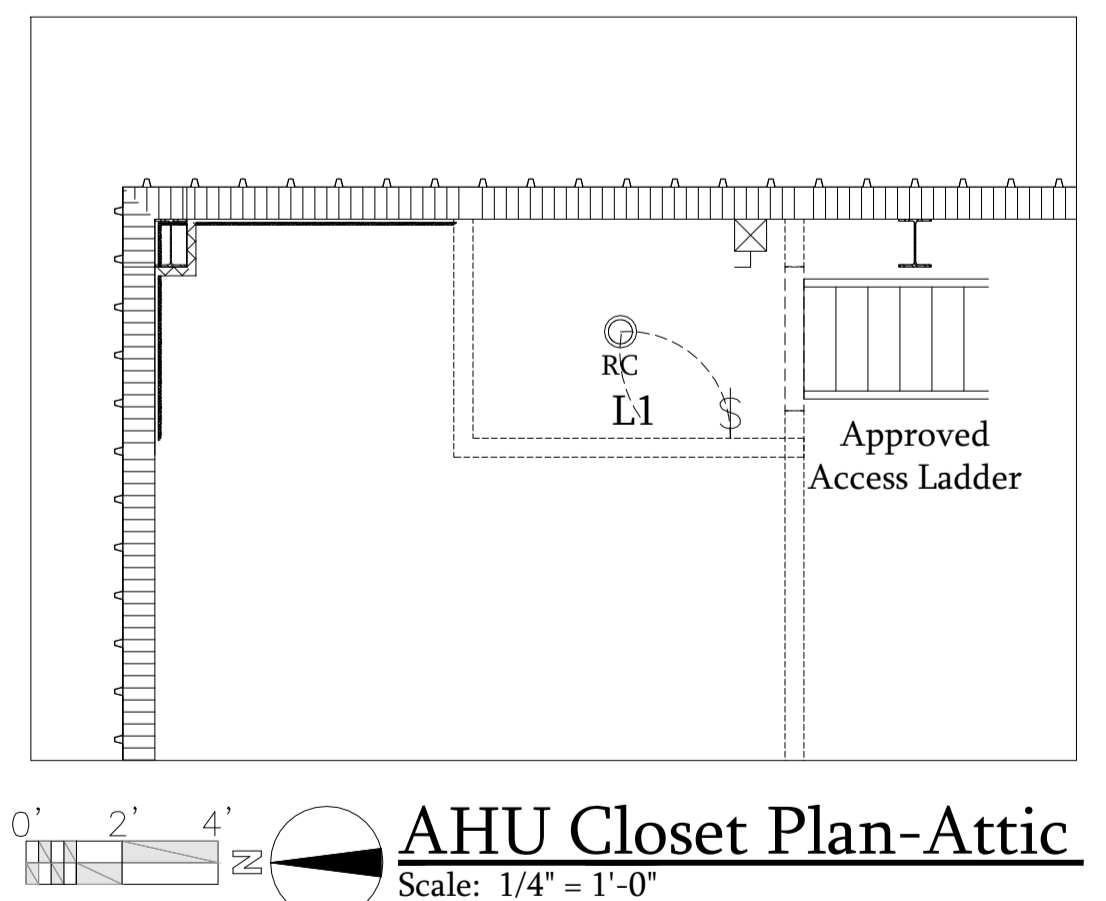


Fixture Schedule Note

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- Single switch
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- Drop in 2' x 2' fluorescent fixture
- Directional recessed can fixture
- Emergency light battery backup - wall mounted
- Emergency light / Exit sign wall mounted combo fixture with battery backup - directional arrow where noted



AHU Closet Plan-Attic
Scale: 1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	VOLTS	LAMPS	VOLT-AMPS	MOUNTING
RC	EURI 6" DLCS-2040e ULTRATHIN 12W, 900 LUMEN, 4000 KELVIN SURFACE MOUNT ON J BOX SUPPLY WITH BATTERY BACKUP	120	1-15W R30 LED	15	RECESSED IN GYPSUM CEILING WITH FLANGE.
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	EMERGENCY BATTERY PACK LIGHT FIXTURE WALL MOUNTED.	120	2-LED	5	WALL MOUNTED
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NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	07/08/21	N.GAJJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	04/21/22	N.GAJJAR	3RD REVIEW COUNTY COMMENTS - EXTERIOR BLDG LIGHTS REMOVED	GC/OWNER
3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
ELECTRICAL LIGHTING PLAN -DETAILS - NOTES
LIGHTING FIXTURE SCHEDULE

E2
DRAWING NO

REVISION

SHEET NO: 13
OF SHEETS: 14
DATE: 12/12/20
SCALE: AS NOTED
JOB NO. SKW-LN-1
DESIGN BY: N.GAJJAR
CHECKED BY: R.HAUG
REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG PE
I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

ROBERT T. HAUG, P.E. # 24575
000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 (PH:863) 687-4225

Digitally signed by Robert T. Haug
Date: 2022.06.06 12:23:42 -04'00'

ROBERT T. HAUG
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
P.E. # 24575
B21807285

CONTRACTOR COPY FOR SUBMITTAL

Landscape Requirements:

15% LANDSCAPE AREA REQUIRED FOR SITES GREATER THAN 1 ACRE WHEN XERISCAPE LANDSCAPING IS USED.

44435 SF (1.02 AC) X 15% = 6,665 SF REQUIRED LANDSCAPE AREA

PROVIDED LANDSCAPE AREA:

LANDSCAPE AREA	
AREA-1	= 5,461 SF
AREA-2	= 201 SF
AREA-3	= 434 SF
AREA-4	= 1,402 SF
AREA-5	= 272 SF
TOTAL	= 7,770 SF

PROVIDED LANDSCAPE AREA: 7,770 SF (17.5%) (ADDITIONAL LANDSCAPING MAY BE PROVIDED BY OWNER)

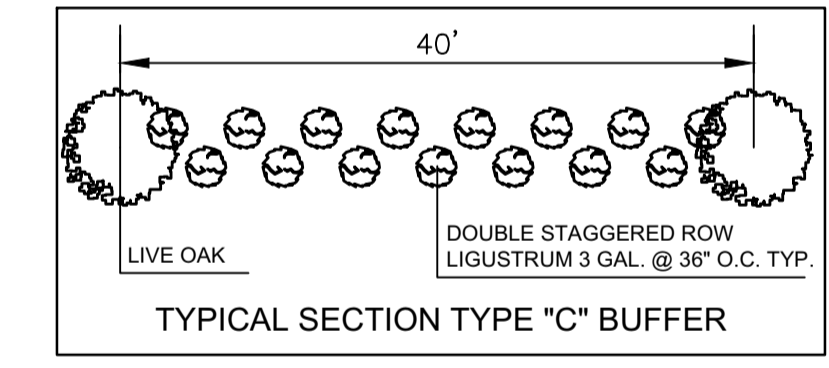
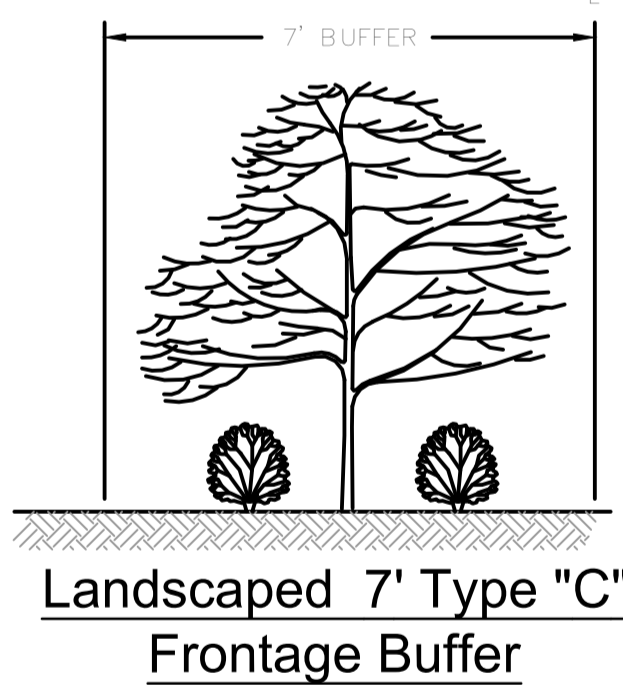
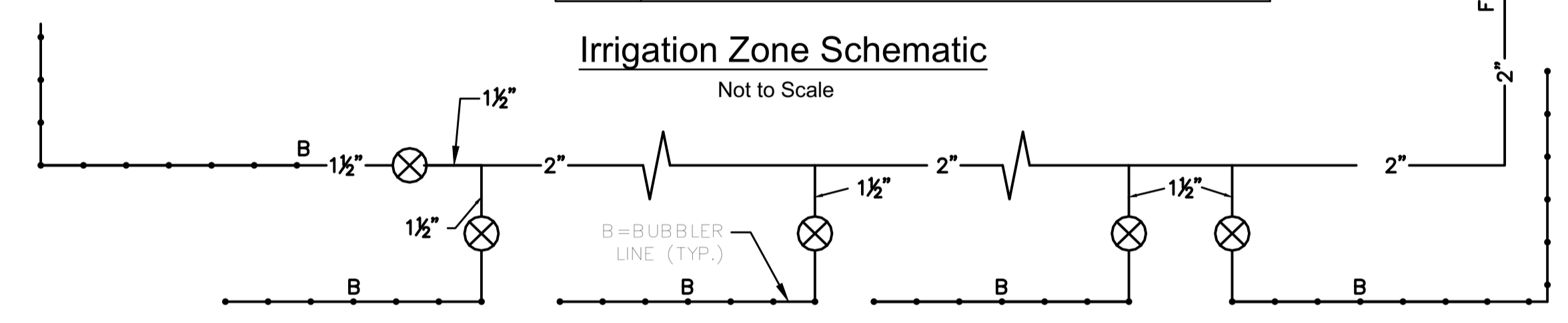
LANDSCAPE BUFFER REQUIREMENTS

NORTH SIDE	= 7' (TYPE C)
EAST SIDE	= NONE
SOUTH SIDE	= 25' (TYPE B)
WEST SIDE	= NONE

Irrigation Legend

KEY	DESCRIPTION
⊕	4" WELL W/ 3 H.P SUBMERSIBLE PUMP 50 GPM @ 50 PSI
⬇	2" BACK-FLOW PREVENTION DEVICE
⌚	HUNTER PRO-C OUTDOOR TIME CLOCK
R	REMOTE RAIN SENSOR MINI-CLICK
⊗	1 1/2" ELECTRIC SOLENOID VALVE

Irrigation Zone Schematic
Not to Scale

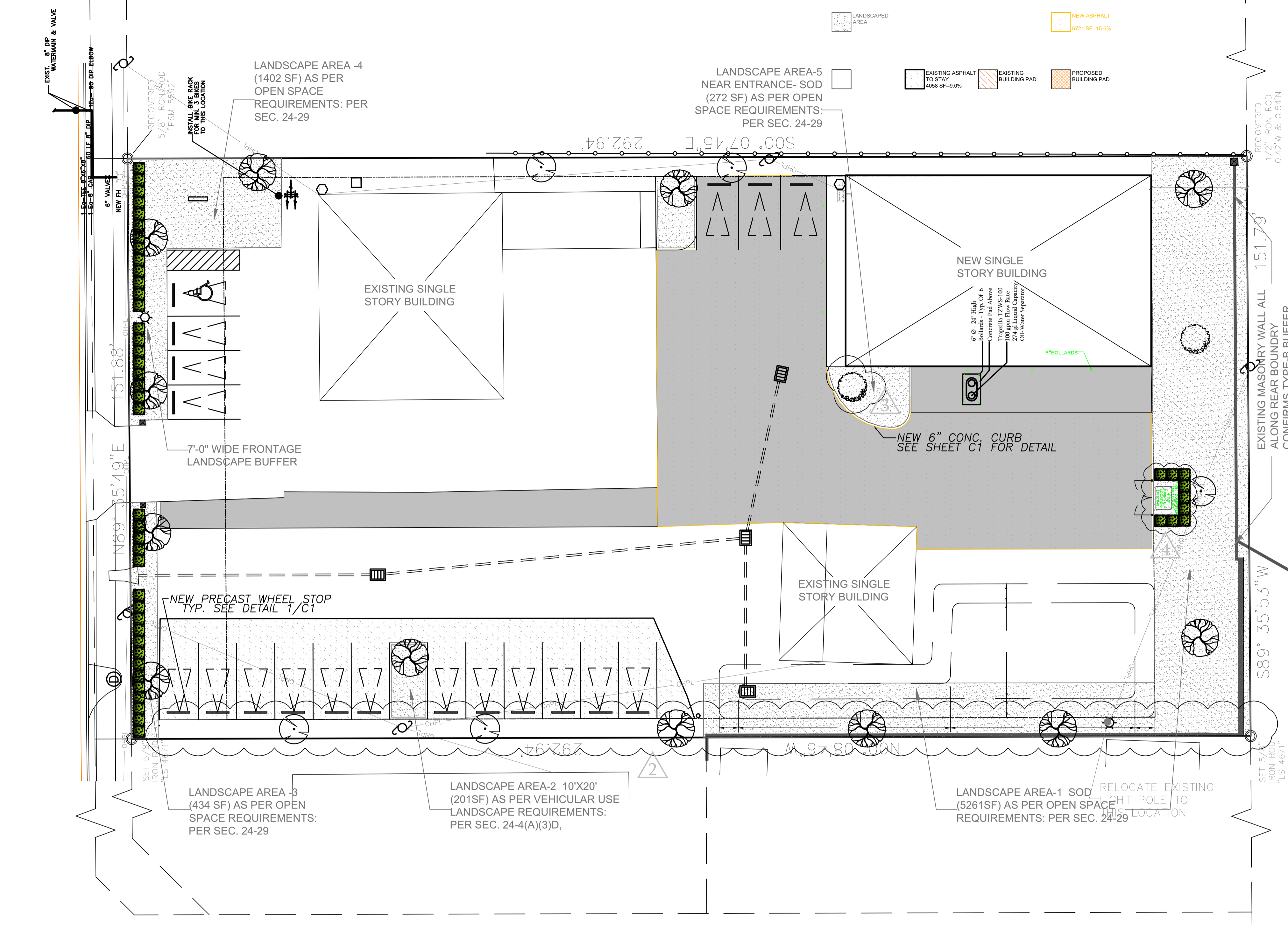
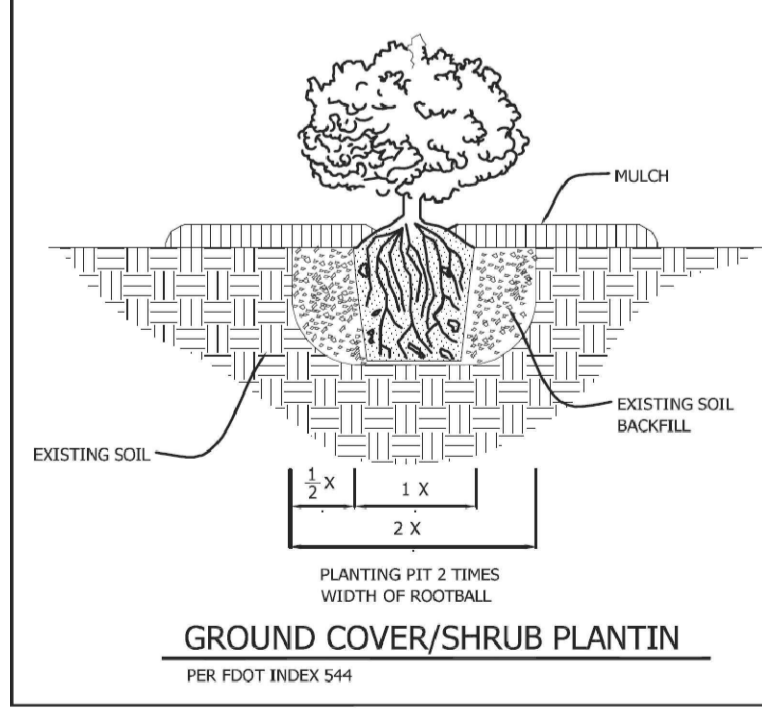
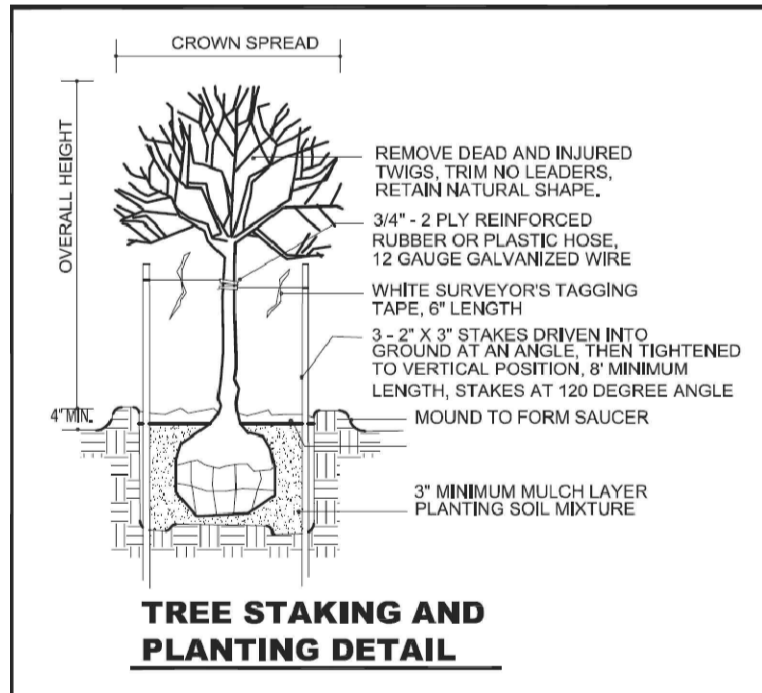


Buffer Notes:
(Per SEC 24-5(A)2.)

A 25' TYPE B LANDSCAPE BUFFER IS REQUIRED TO SEPARATE C-2 PROPERTIES FROM RESIDENTIAL USES. THIS BUFFER SHALL BE COMPLETELY OPAQUE FROM THE GROUND UP TO A HEIGHT OF AT LEAST SIX FEET AND SHALL BE A MINIMUM OF TWENTY-FIVE FEET WIDE. THE TYPE B BUFFER MAY UTILIZE A MASONRY WALL, BERM, PLANTED AND/OR EXISTING VEGETATION OR ANY COMBINATION THEREOF WHICH MAINTAINS A COMPLETELY OPAQUE BUFFER. THIS BUFFER MUST BE FOUR FEET HIGH AND SEVENTY PERCENT OPAQUE AT PLANTING AND BE CAPABLE OF ATTAINING FULL HEIGHT AND OPACITY WITHIN THREE YEARS. SEC 24-5(B); ALL BUFFERS SHALL INCLUDE ONE SHADE TREE FOR EACH FORTY LINEAL FEET OR FRACTION THEREOF.

Notes:

- NATIVE TREES AND PLANT MATERIALS ALONG WITH XERISCAPE MATERIALS AND PRINCIPLES TO BE USED WHEN LANDSCAPING THIS SITE.
- ALL PLANTS TO BE FLA. #1 OR BETTER.
- OWNER MAY SUBSTITUTE OTHER APPROVED SHADE TREES AND PLANTS PER CODE.
- ALL PIPE TO BE SCH. 40 P.V.C.
- ALL SLEEVING TO BE SCH. 40 P.V.C.
- ALL TREES TO BE STAKED & GUYED W/ ARBOR-GUY.
- ALL DISTURBED AREAS NOT SODDED ARE TO BE SEEDED & MULCHED W/ ARGENTINE BAHIA PER D.O.T. SPECIFICATIONS.



Landscape & Irrigation Plan
Scale: 1/16" = 1'-0"

Plant Legend

SYMBOL	KEY	QTY	DESCRIPTION	SIZE & REMARKS
⊕	IEP	8*	EAST PALATKA HOLLY 2" DBH	7' x 5' FLA. #1
⊙	LO	3*	LIVE OAK 3" DBH	12'-14' x 4'-5'
⊠	LL	39*	LIGUSTRUM LUCIDUM	#3 30"-36" HT 3" O.C.
⊗	CM	6*	CRAPPE MYRTLE	2" CAPLIER, 7' TALL

CLEARING PROCEDURES.
THE OWNER OR DEVELOPER SHALL BE RESPONSIBLE FOR ENSURING THAT ALL POSSIBLE MEASURES ARE TAKEN DURING THE CLEARING PROCESS TO AVOID DAMAGE TO TREES DESIGNATED TO REMAIN AFTER CONSTRUCTION. THIS SHALL INCLUDE USE OF HAND LABOR RATHER THAN LARGE MACHINERY WHERE NECESSARY TO PROTECT TREES TO BE PRESERVED.

PROTECTIVE BARRICADES.
C. PROTECTIVE BARRICADES SHALL BE CONSTRUCTED PRIOR TO CLEARING AROUND ALL TREES DESIGNATED TO REMAIN. THESE BARRICADES SHALL BE LOCATED AT THE DRIP LINE OF THE TREES OR AT A DISTANCE OF 1 FOOT PER 1 INCH OF DBH AND SHALL BE APPROXIMATELY FOUR FEET IN HEIGHT. THE BARRICADE SHOULD BE RIGID AND STURDY ENOUGH TO SURVIVE THE CONSTRUCTION PERIOD; HOWEVER, ANY SUITABLE NEW OR SCRAP MATERIAL MAY BE USED IN ITS CONSTRUCTION. D. ABSOLUTELY NO FILL, BUILDING MATERIALS, TRAFFIC OR OTHER OBJECTS SHALL BE PLACED INSIDE THESE BARRIERS. NO EQUIPMENT WILL BE ALLOWED OR STORED INSIDE THESE BARRIERS. IF FILL IS DEPOSITED ADJACENT TO THESE AREAS, A SUITABLE TEMPORARY OR PERMANENT RETAINING STRUCTURE SHALL BE CONSTRUCTED TO PREVENT SILTATION OF THE BARRICADED AREA. ATTACHING SIGNS OR OTHER OBJECTS TO TREES. IT SHALL BE UNLAWFUL TO ATTACH A SIGN OR OTHER OBJECT OF A PERMANENT OR TEMPORARY NATURE TO A TREE BY THE USE OF NAILS, WIRE OR ANY OTHER METHOD THAT MAY BE HARMFUL TO THE TREE.

THIS LANDSCAPE PLAN IS DESIGNED IN ACCORDANCE WITH ORANGE COUNTY LAND DEVELOPMENT CODE SECTIONS 24-3(B) AND 24-4(L)(1). THE IRRIGATION SYSTEM HAS BEEN DESIGNED AND WILL BE INSTALLED IN CONFORMANCE WITH CH -37, SECTIONS 601-613 OF THIS CODE.

ADDITIONAL LANDSCAPING MAY BE PROVIDED BY OTHERS -

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	01/29/21	RT	AS PER 15% & 25% PERCENT COUNTY COMMENTS AND VALUE ENGINEERING	OWNER
2	03/01/21	RT	TREE W/ 50' GUY	
3	07/18/21	---	SHADE TREE	
4	09/22/21	---	REMOVE HT COMPACT	
5		---		
6	09/09/21	---		
7	11/02/21	---		

**NEW PAINT & BODY SHOP BUILDING FOR
SKW INVESTMENTS INC.
500 W LANCASTER ROAD ORLANDO FL 32809
LANDSCAPE & IRRIGATION**

L1
DRAWING NO

NORTH REVISION

SHEET NO: 6
OF SHEETS: 6
DATE: 06/12/21
SCALE: AS NOTED
JOB NO. SKW-LN-2
DESIGN BY: N.GAJJAR
CHECKED BY: R.HAUG
REMARKS: ---

DESIGN REVIEW BY: ROBERT T HAUG PE.
IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
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ROBERT T. HAUG,
P.E. # 24575
2000 EDGEWOOD DRIVE, SUITE 106A LAKE LAND FL 33603 PH:(863) 687-4225

Approved Plans
Orange County
Division of Building Safety

Permit B21901235

Date 11/02/22

This Approval does not grant permission to violate any applicable Ordinance or any part of any improvement contract or any other title of this property. Keep this plan on the job site at all times.

CONTRACTOR - COPY FOR SUBMITTAL

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44435 SF (1.02 AC) X 15% = 6,665 SF REQUIRED LANDSCAPE AREA

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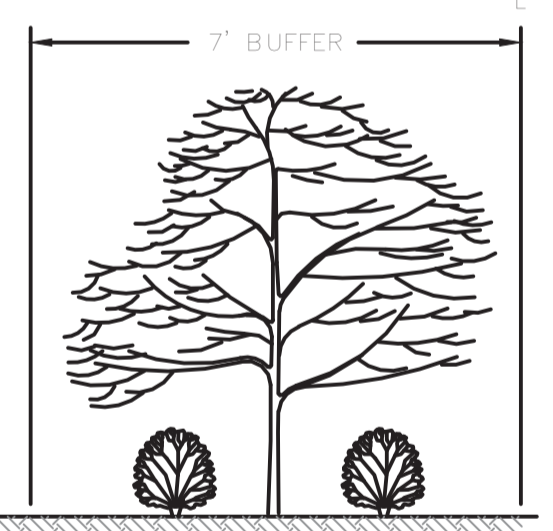
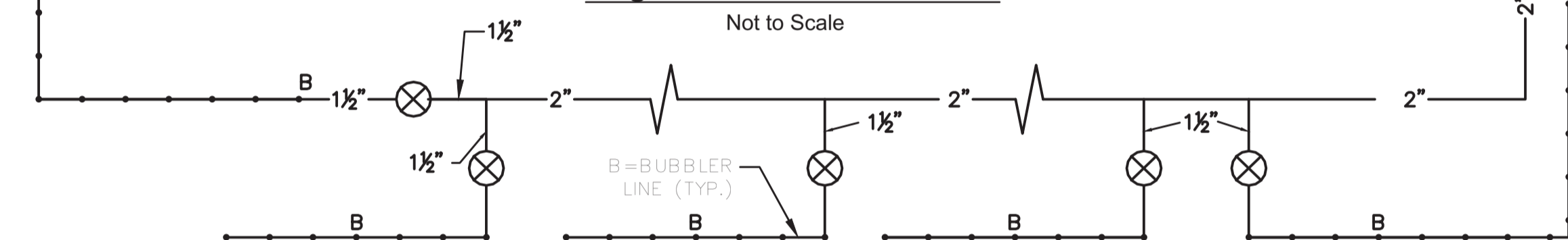
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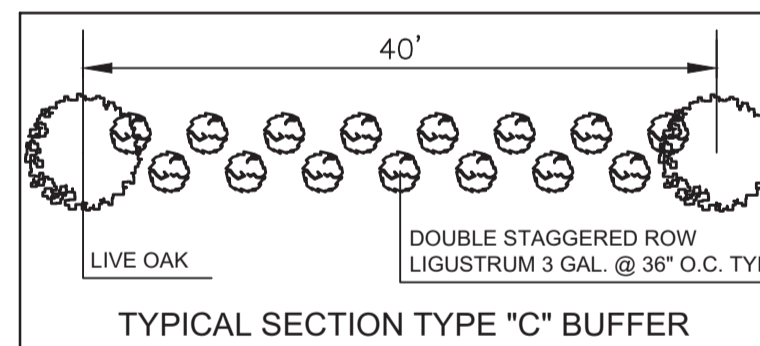
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KEY	DESCRIPTION
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R	REMOTE RAIN SENSOR MINI-CLICK
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Irrigation Zone Schematic



Landscape 7' Type "C" Frontage Buffer

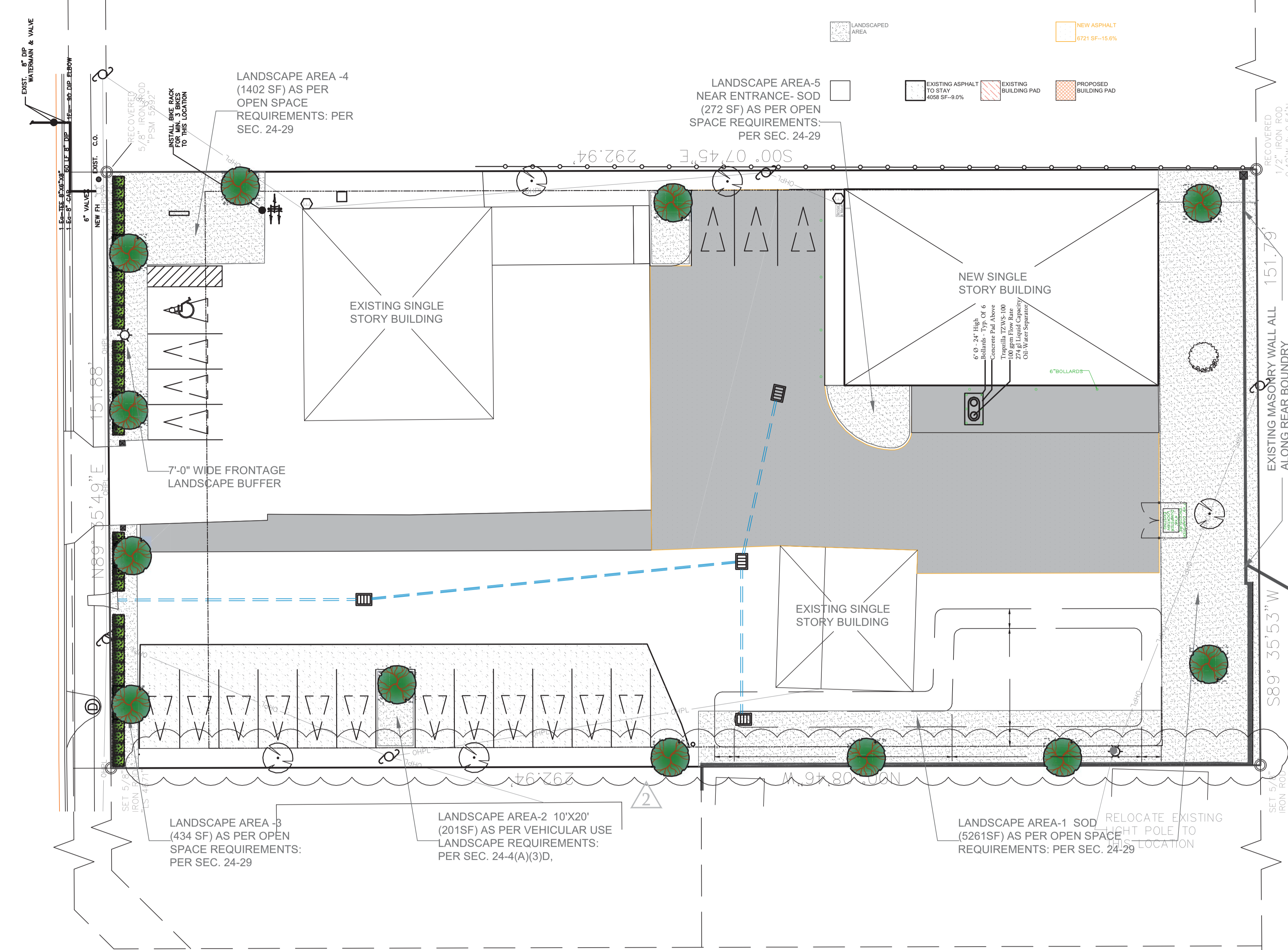
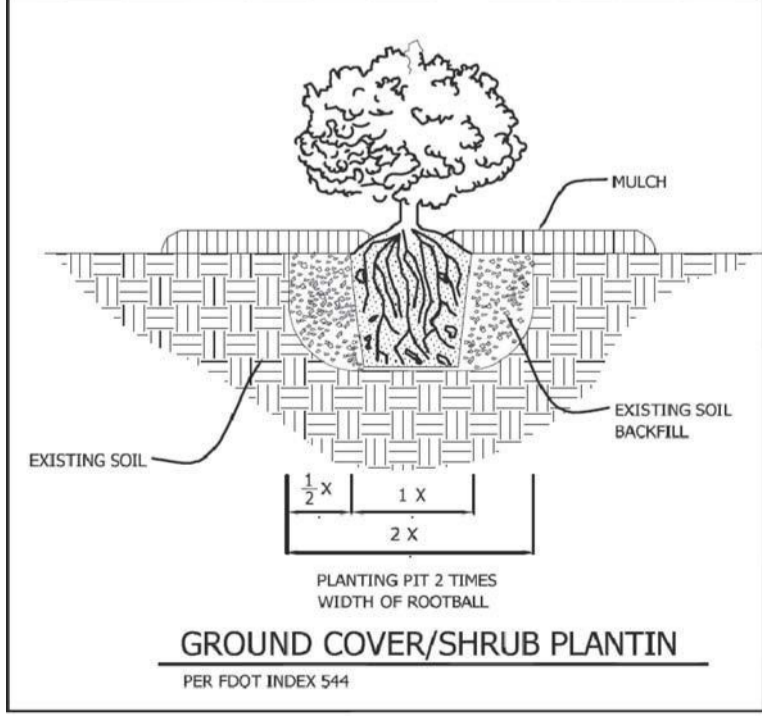
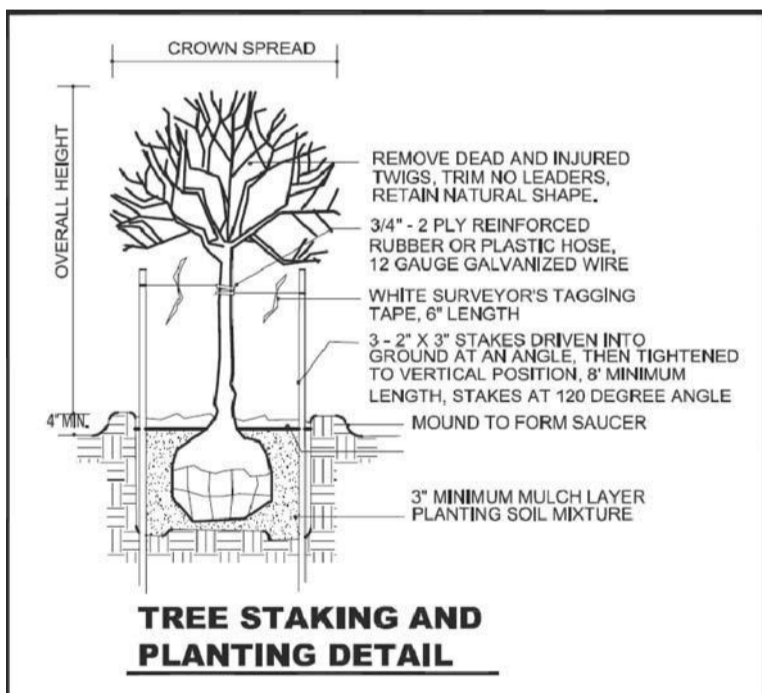


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THIS LANDSCAPE PLAN IS DESIGNED IN ACCORDANCE WITH ORANGE COUNTY LAND DEVELOPMENT CODE SECTIONS 24-3(B) AND 24-4(L)(1). THE IRRIGATION SYSTEM HAS BEEN DESIGNED AND WILL BE INSTALLED IN CONFORMANCE WITH CH-37, SECTIONS 601-613 OF THIS CODE.

ADDITIONAL LANDSCAPING MAY BE PROVIDED BY OTHERS -

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	06/07/21	N. GAJJAR	15 PER 11.31 & 2 NO REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	OWNER
2	03/01/22		TREES @ 50' O/C	
3	09/09/22			
4	09/20/22			
5	09/09/22			
6	09/09/22			
7	09/20/22			

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
LANDSCAPE & IRRIGATION

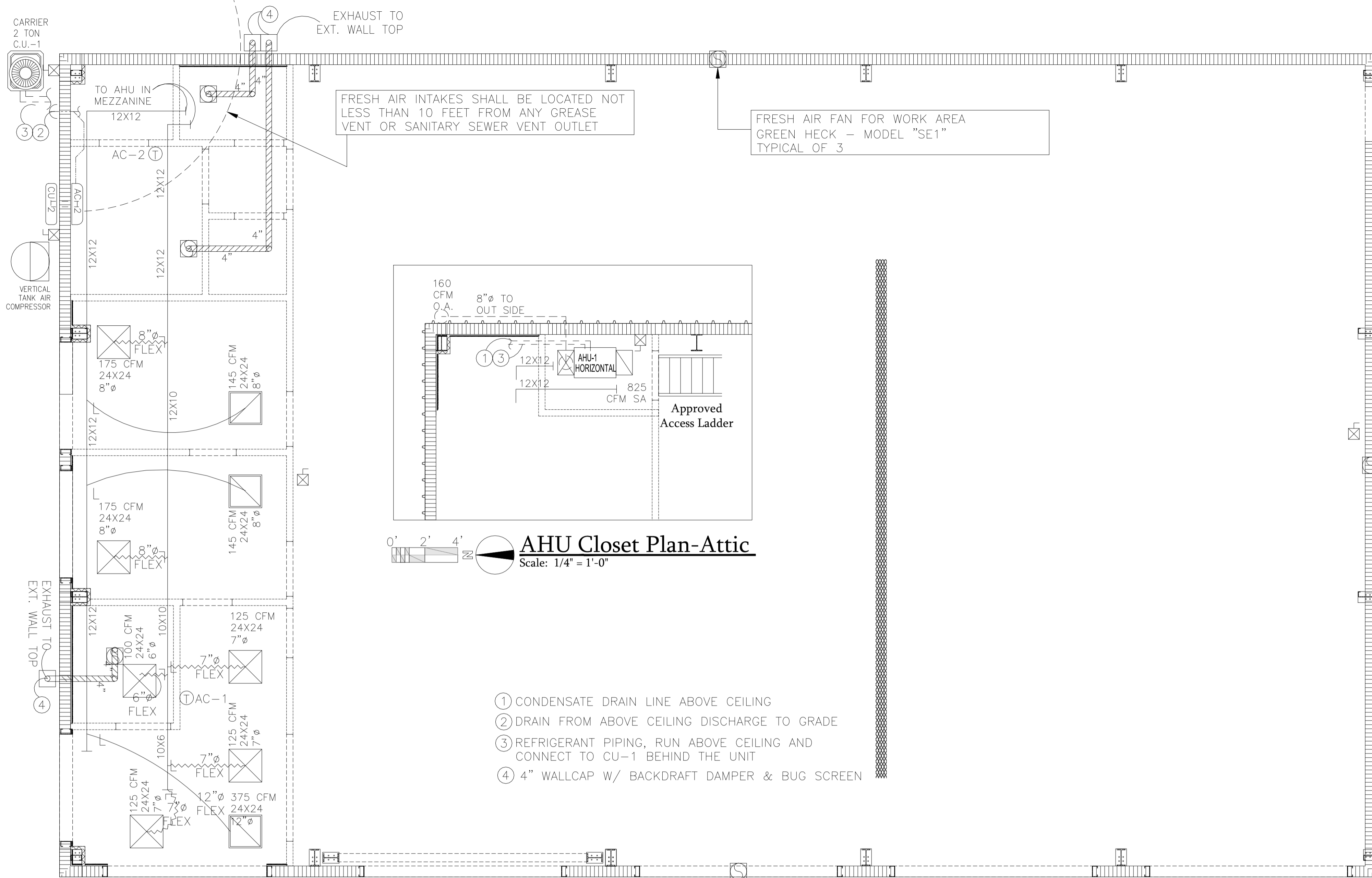
NO. 6
DATE: 06/12/21
SCALE: AS NOTED
JOB NO. SKW-LN-2
DESIGN BY: N. GAJJAR
CHECKED BY: R. HAUG
REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG P.E.
IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1608 FOR 150 MPH ULTIMATE WIND ZONE.

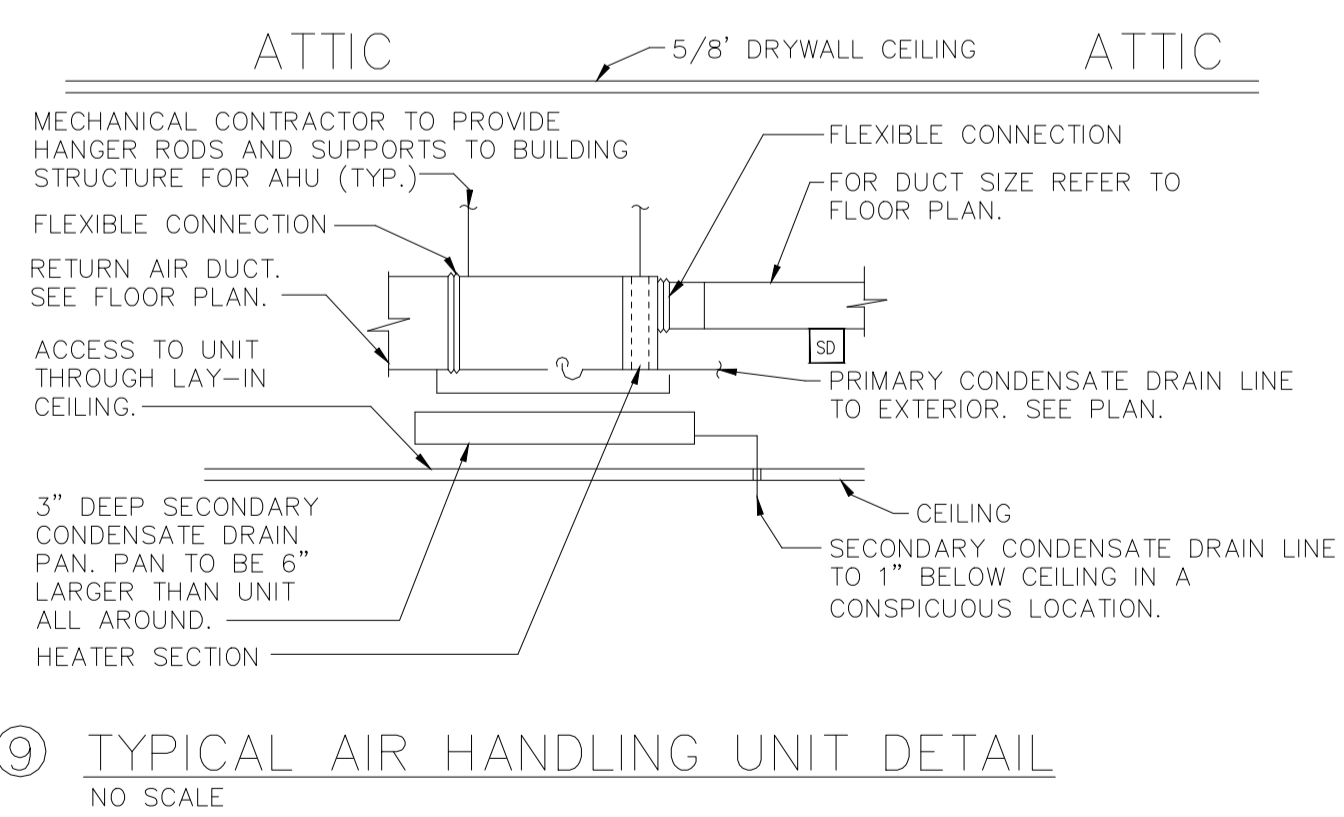
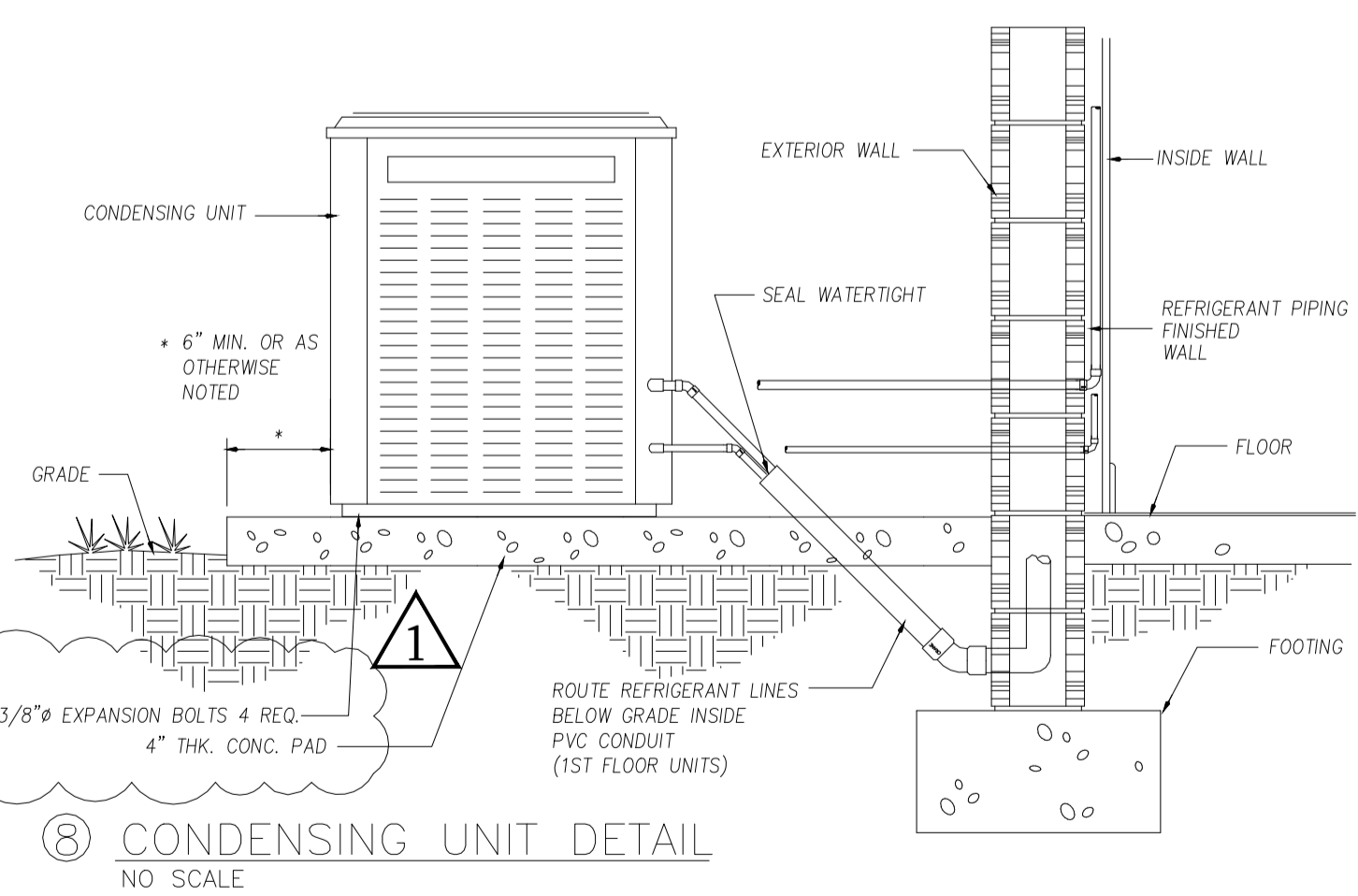
ROBERT T. HAUG, P.E. # 24575
2000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH: (863) 687-4225

Digitally signed
Original from
Division by Robert T. Haug
Date: 2022.06.08 15:13:41 -04'00'
2000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH: (863) 687-4225

CONTRACTOR - COPY FOR SUBMITTAL



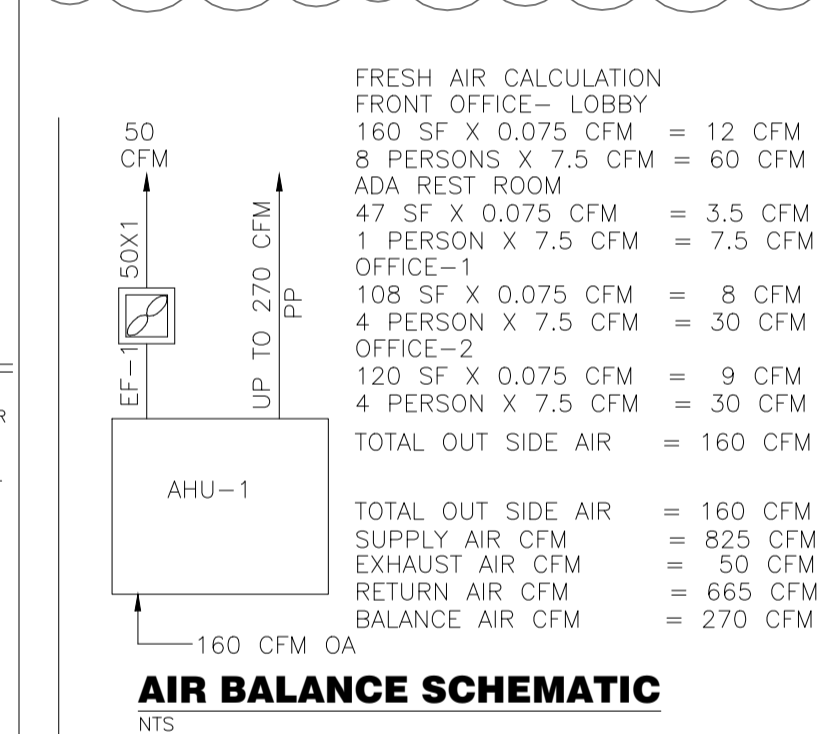
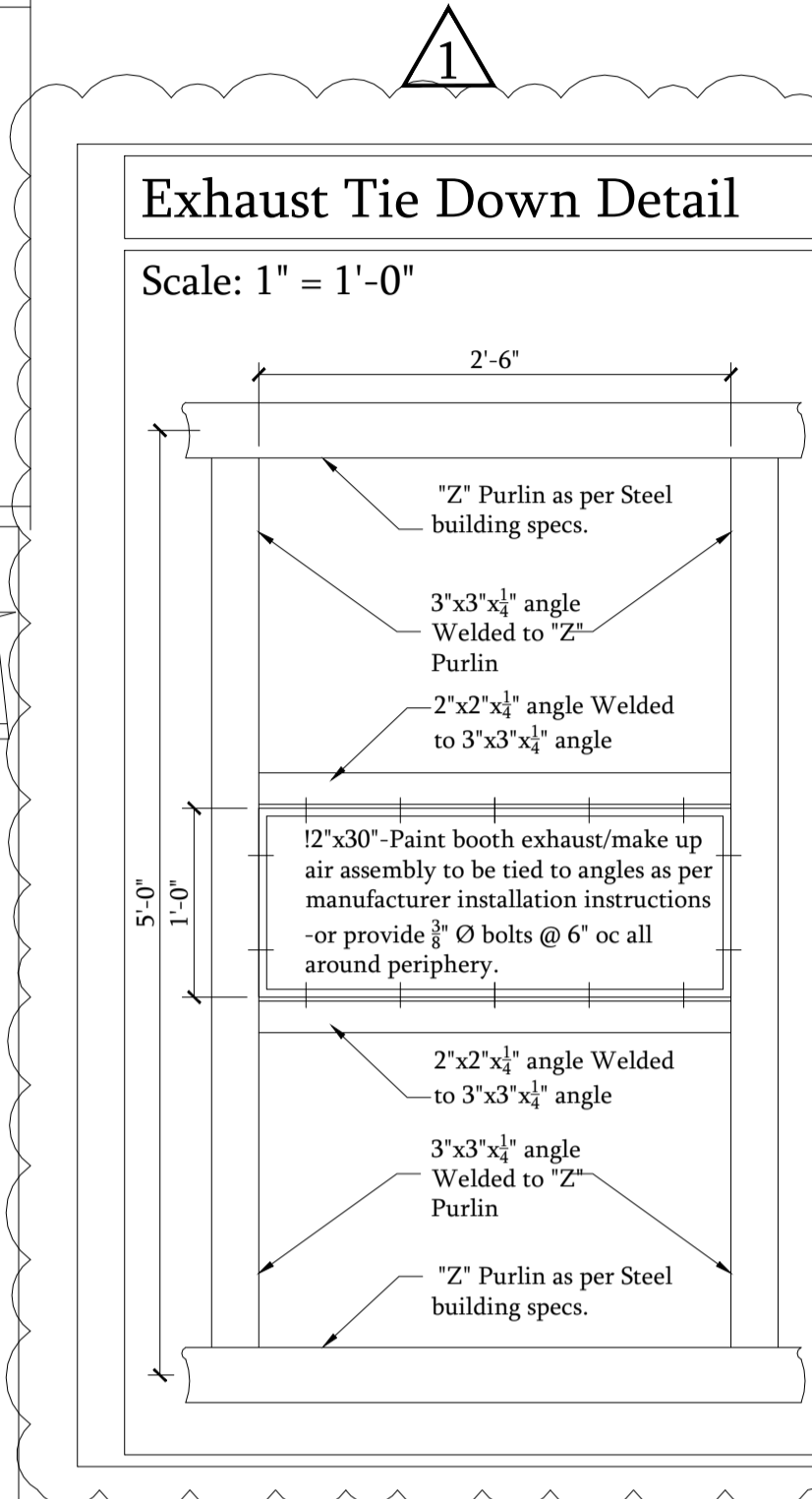
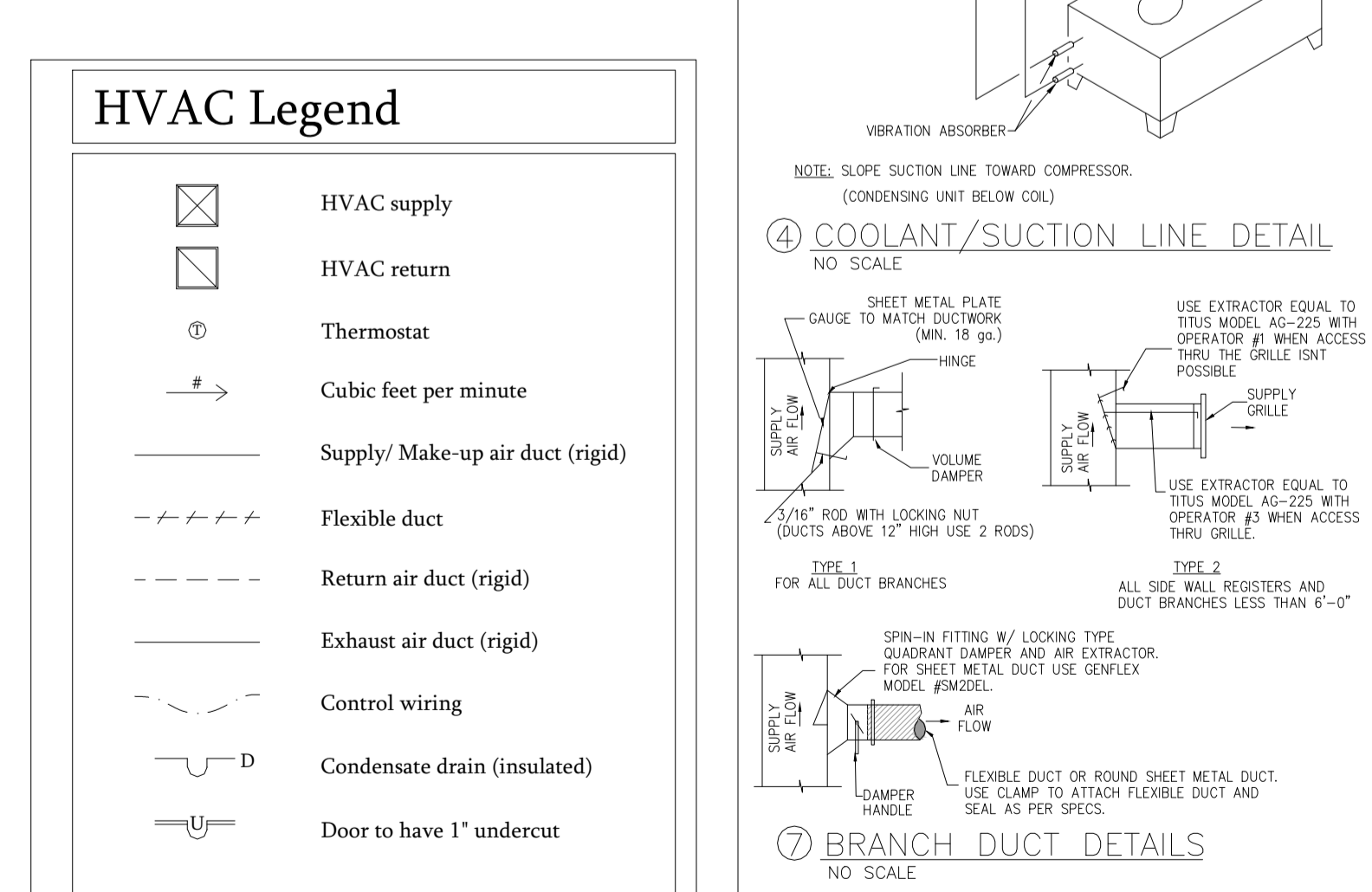
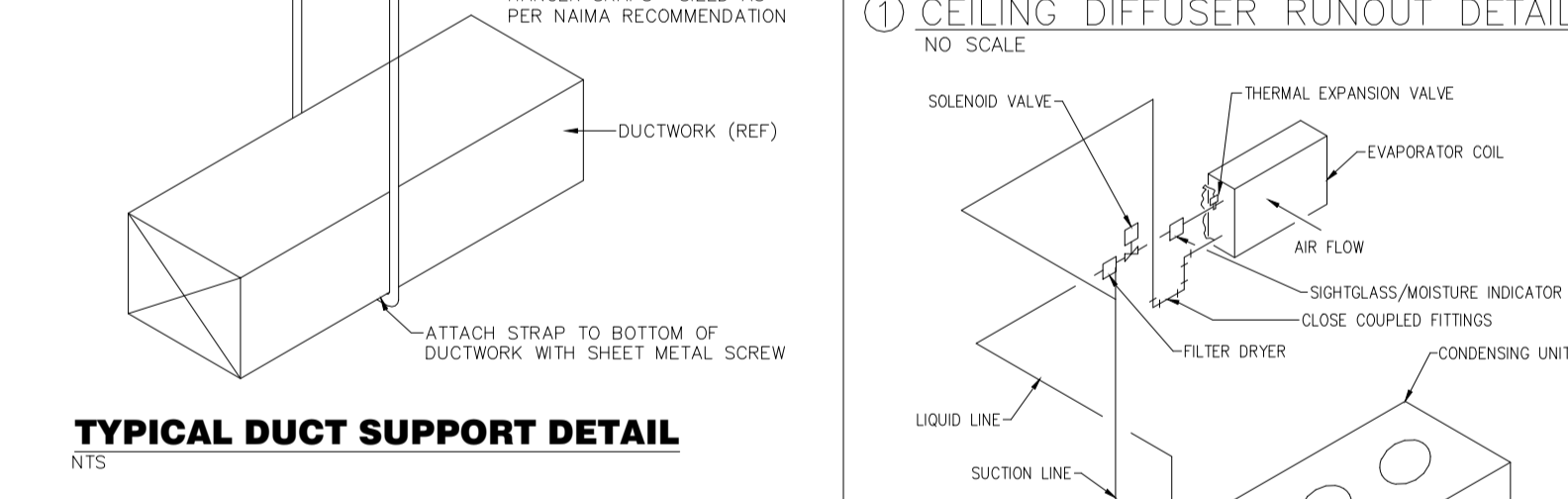
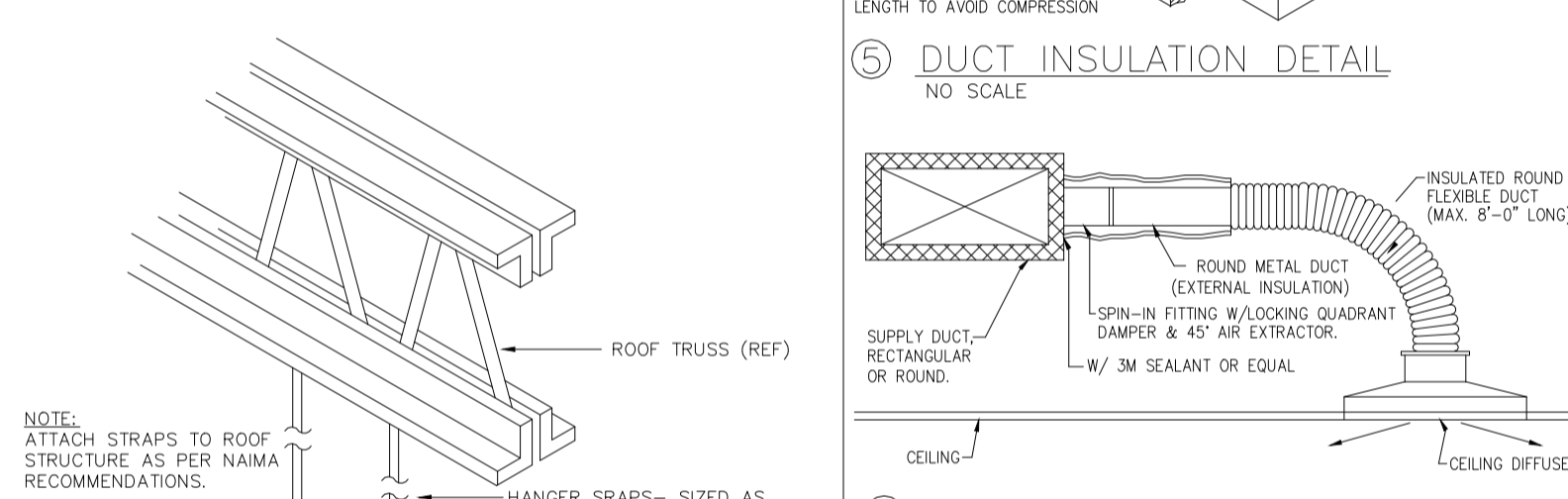
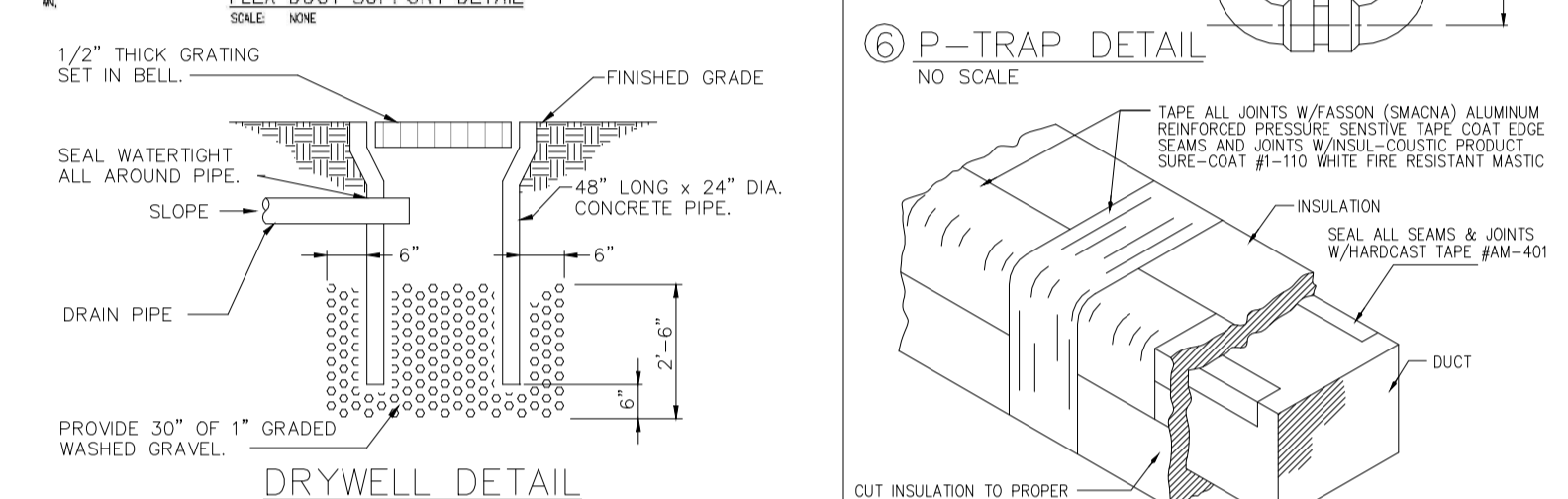
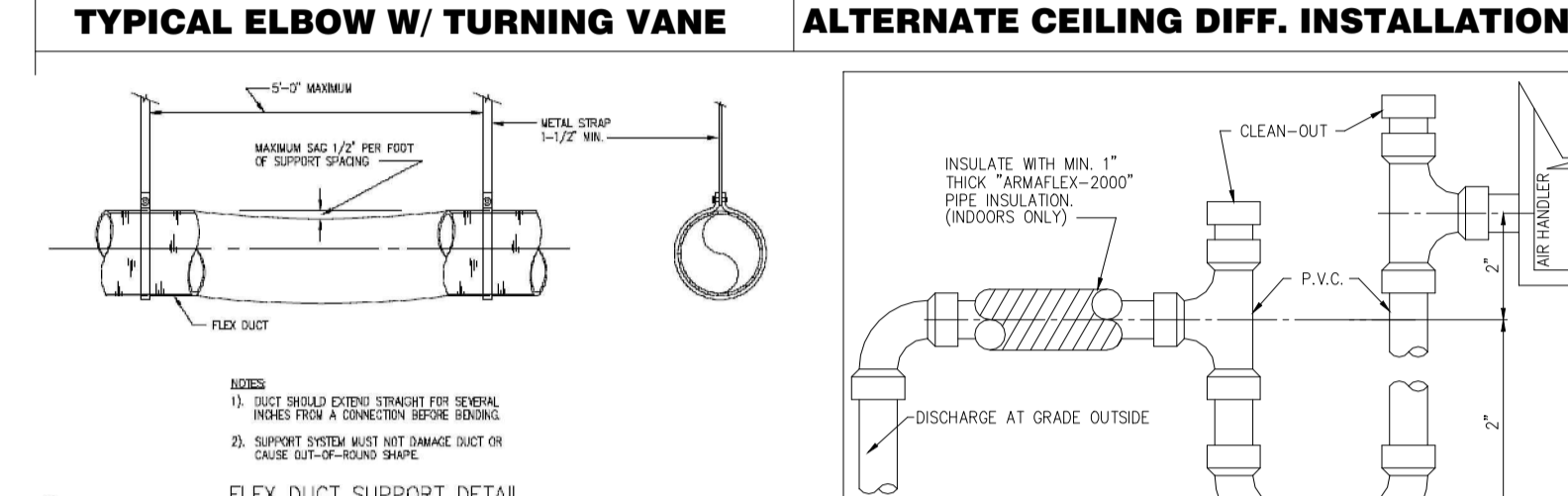
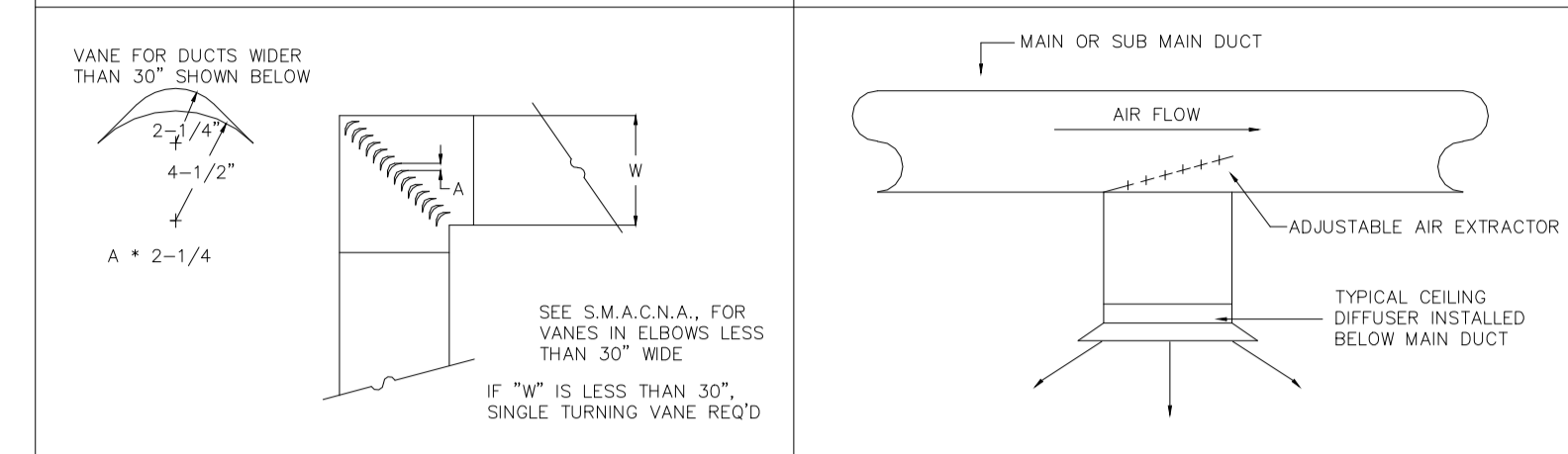
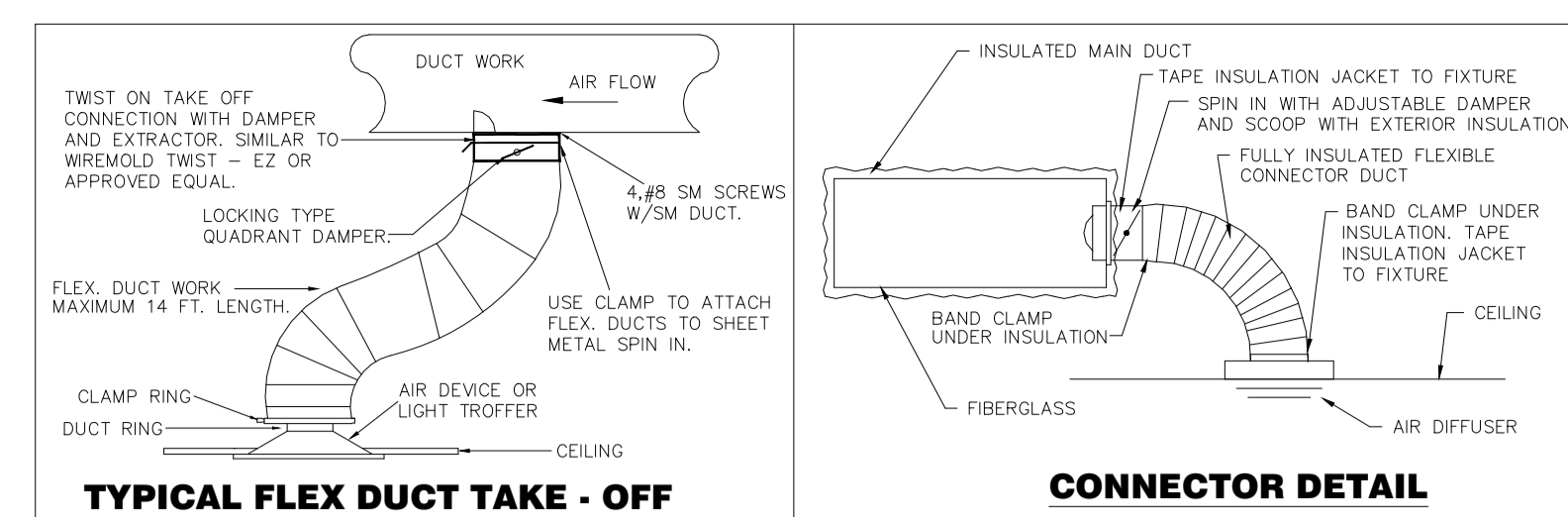
HVAC Plan
Scale: 1/4" = 1'-0"



PACKAGE-OR-SPLIT SYSTEM A/C SCHEDULE

AIR HANDLING UNIT DATA			
MARK		AHU-1	AC-2
COOLING CAPACITY	BTUH	22400	18000
SENSIBLE CAPACITY	BTUH	16200	
SUPPLY AIR	CFM	825	
OUTSIDE AIR	CFM	175	
ENTERING AIR TEMP. DB/WB	F / F	80/67	80/67
EXT. STATIC PRESSURE	IN. H2O	0.5	
ELECTRIC HEATER	KW/STAGES	5/1	
MOTOR	HP/FLA	3.7/1.8	
ELECTRICAL	V/PH/Hz	230/1/60	240/1/60
FILTERS		THROWAWAY	CLEANABLE
BASIS OF DESIGN	(1)	CARRIER	TRANE
MODEL		FB4ANF024	SEE NOTE 3
EER/SEER		11.0	16
NOTES		1,2,3,4,7	1,2,3,4
UNIT MCA/MOCP WITH HEATER			
CONDENSING UNIT DATA			
MARK		CU-1	CU-2
OUTDOOR TEMPERATURE	F	95	95
ELECTRICAL	V/PH/Hz	230/1/60	240/1/60
COMPRESSOR	RLA/LRA	11.6/266	25
BASIS OF DESIGN	(1)	CARRIER	TRANE
MODEL		38CX5024.30T	SEE NOTE 3
MCA/MOCP/OFM FLA		15.5/20/1.0	16
NOTES			3,5,7,1,6

- OR APPROVED EQUAL
- VERTICAL UNIT. FURNISH 12" HIGH PAINTED STEEL STAND.
- REFRIGERANT LINE SIZE PER MANUFACTURERS RECOMMENDATIONS.
- FURNISH WITH R/A PLENUM & RETURN AIR & OUTSIDE AIR LOW LEAKAGE DAMPERS.
- PROVIDE 4" THICK CONCRETE PAD FOR CU-1, 6" LARGER THAN UNIT ON ALL 4 SIDES.
- ONE (1) OUTDOOR FAN MOTOR(OR)
- COMPRESSOR AND HEATER MAY RUN AT THE SAME TIME TO MAINTAIN TEMPERATURE AND HUMIDITY.



NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	09/08/21	N GAJJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	00/00/00			
3	00/00/00			
4	00/00/00			
5	00/00/00			
6	00/00/00			
7	00/00/00			

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
HVAC PLAN - SCHEDULES -NOTES-DETAILS

REVISION

M1
DRAWING NO

SHEET NO: 14
DATE OF SHEETS: 14
DATE: 12/12/20
SCALE: AS NOTED
JOB NO.: SKW-LN-1
DESIGN BY: N.GAJJAR
CHECKED BY: R. HAUG
REMARKS:

DESIGN REVIEW BY: ROBERT T HAUG PE
1 IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION WITH ALL REVISIONS AND ALL REVISIONS TO CHAPTER 1609 FOR 150 MPH ULTIMATE WIND ZONE.

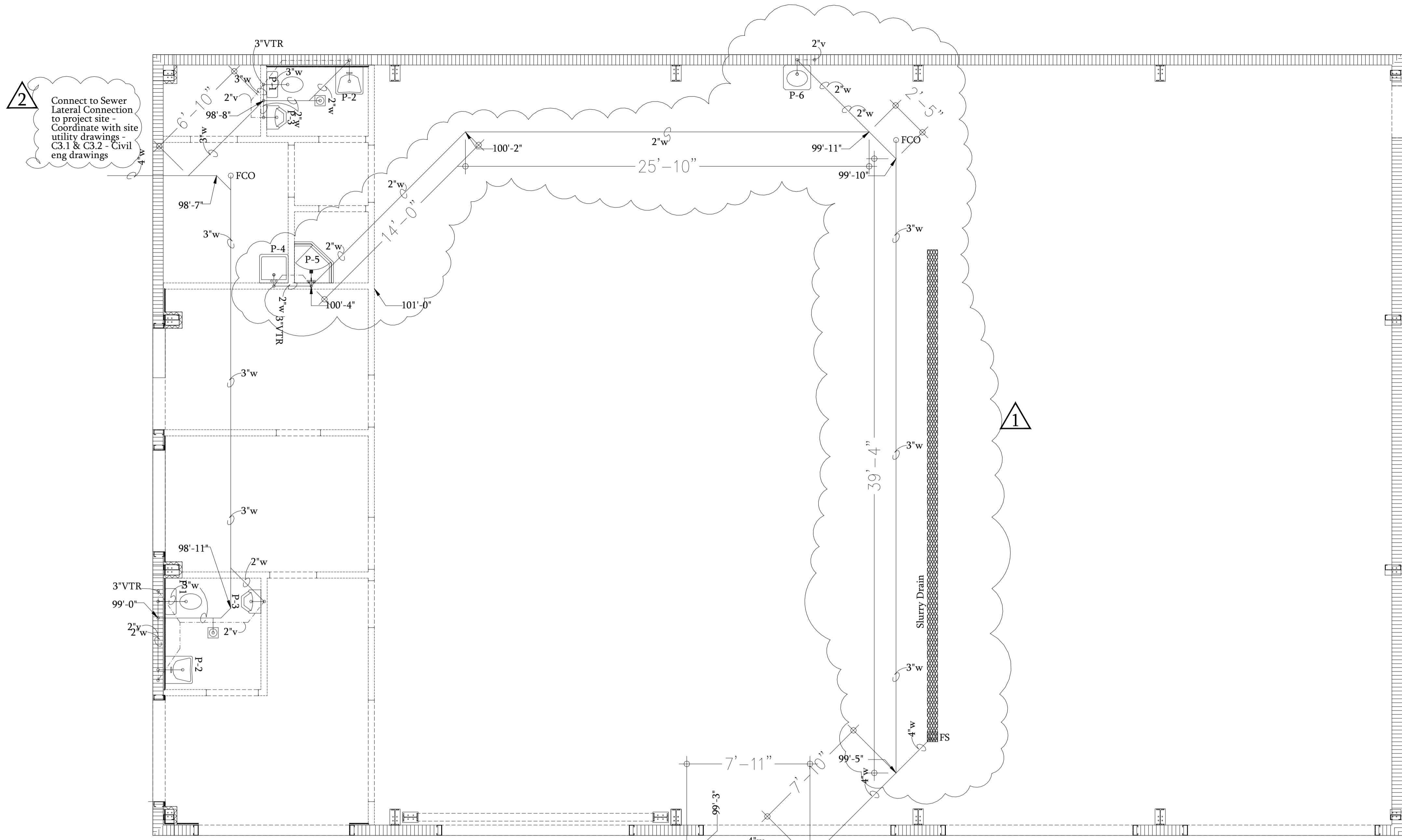
ROBERT T. HAUG, P.E. # 24575
000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed by Robert T. Haug
Date: 2022.06.06 12:25:04 -04'00'

ROBERT T. HAUG
REGISTERED PROFESSIONAL ENGINEER
P. 24575 B2190285
STATE OF FLORIDA
EXPIRES 06/06/2022

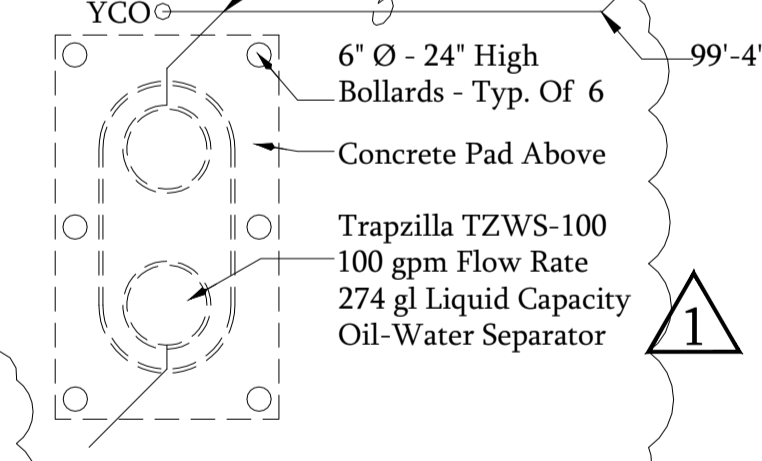
CONTRACTOR COPY FOR SUBMITTAL

DATE, SIGN, & SEAL



2 Connect to Sewer Lateral Connection to project site - Coordinate with site utility drawings - C3.1 & C3.2 - Civil eng drawings

2 Connect to Sewer Lateral Connection to project site - Coordinate with site utility drawings - C3.1 & C3.2 - Civil eng drawings

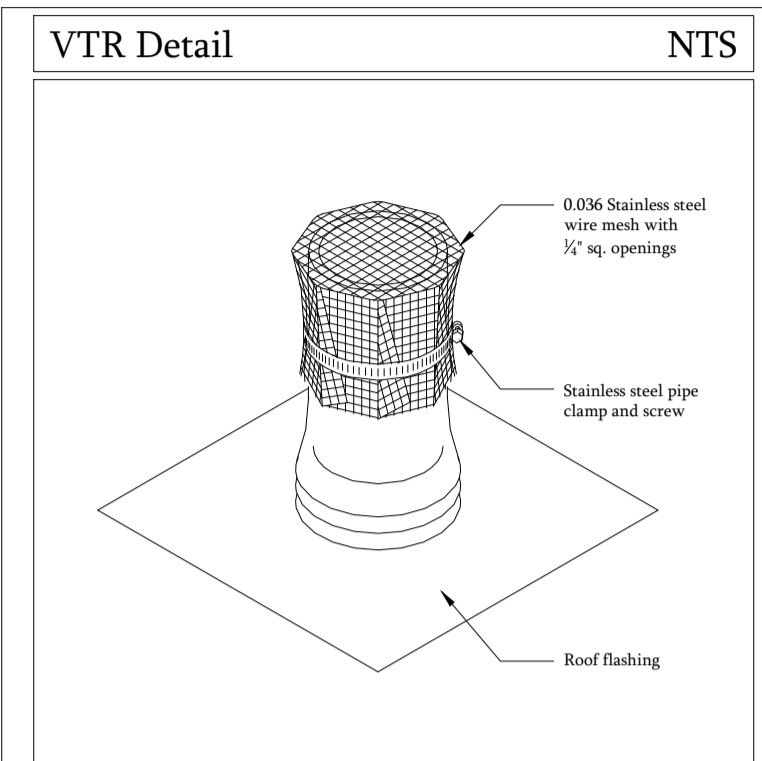


Sanitary Plan Scale: 1/4" = 1'-0"

Plumbing Legend

— SAN —	Sanitary piping
--- RA ---	Return air vent
— CW —	Hot water line
--- HW ---	Cold water line
WCO	Wall clean out
CO	Clean out
VTR	Vent through roof

NOTE: (Provide tempered hot water eighty-five to one hundred ten degrees Fahrenheit (85° to 110° F.) to be served from lavatory faucets) as required by Florida Building Code - Plumbing - 416.5. NOTE: this shall be accomplished using an approved hot water tempering device, not adjusting the water heater thermostat, in compliance with Florida Building Code - Plumbing - 607.1.)
Note plumbing contractor to verify prior to submittal of bid if existing location of the vent thru roof will meet code



PLUMBING FIXTURE AND CONNECTION SCHEDULE

E-NO	FIXTURE DESCRIPTION	MOUNTING HEIGHT	MIN. CONNECTIONS	WASTE	CW	HW	MANUFACTURER	FIXTURE	TRIM	WASTE TRAP	SUPPLY	NOTES
E-1	WATER CLOSET FLOOR MOUNTED FLUSH VALVE 17 1/2" MIN. TRAP	FLOOR TO RIM	3"	3/4"	---	---	KOHLER	K-4268	---	---	---	SEAT - OLSONITE 95 OR EQUAL BY BRONCO OR BEMS PROVIDE A.D. HANDLE ON FLUSH VALVE COORDINATE FLUSH VALVE HEIGHT WITH GRAB BAR.
E-2	LAVATORY WALL HUNG 20" X 16"	FLOOR TO RIM 3"	1 1/4"	1/2"	1/2"	---	KOHLER ELIER	K-2005 EQUAL	---	K-7715 K-9000	K-7606 802-0320	PROVIDE WALL MOUNTED CARRIER BY JOSAM, WADE OR ZURN IF MOUNTED ON STUD WALL
E-3	URINAL WALL HUNG FLUSH VALVE 1.0 GAL/FLUSH	FLOOR TO RIM 3"	2"	3/4"	---	---	KOHLER ELIER	K-4989-1 EQUAL	---	---	---	PROVIDE FLOOR MOUNTED CARRIER BY JOSAM, WADE OR ZURN IF MOUNTED ON STUD WALL
E-4	MOP SINK FLOOR MOUNTED 24" X 24" X 12" (OUTSIDE)	FLOOR MOUNTED	2"	1/2"	1/2"	---	STERN-WILLIAMS CHICAGO FAUCETS	SB-800 1762	---	---	---	MOUNT TRIM 3'-0" ABOVE FINISHED FLOOR AND PROVIDE 4'-0" HOSE AND HOSE HOOK
E-5	SHOWER 30" X 30" X 72"	FLOOR TO HEAD 72"	2"	1/2"	1/2"	---	CHICAGO FAUCETS	1762	---	---	---	SEE DRAIN SCHEDULE FOR SHOWER DRAIN
E-6	HAND WASH SINK WALL HUNG 20" X 16"	FLOOR TO RIM 3"	1 1/4"	1/2"	1/2"	---	KOHLER ELIER	K-2005 EQUAL	---	K-7715 803-0552	K-9000 804-1180	PROVIDE WALL MOUNTED CARRIER BY JOSAM, WADE OR ZURN IF MOUNTED ON STUD WALL

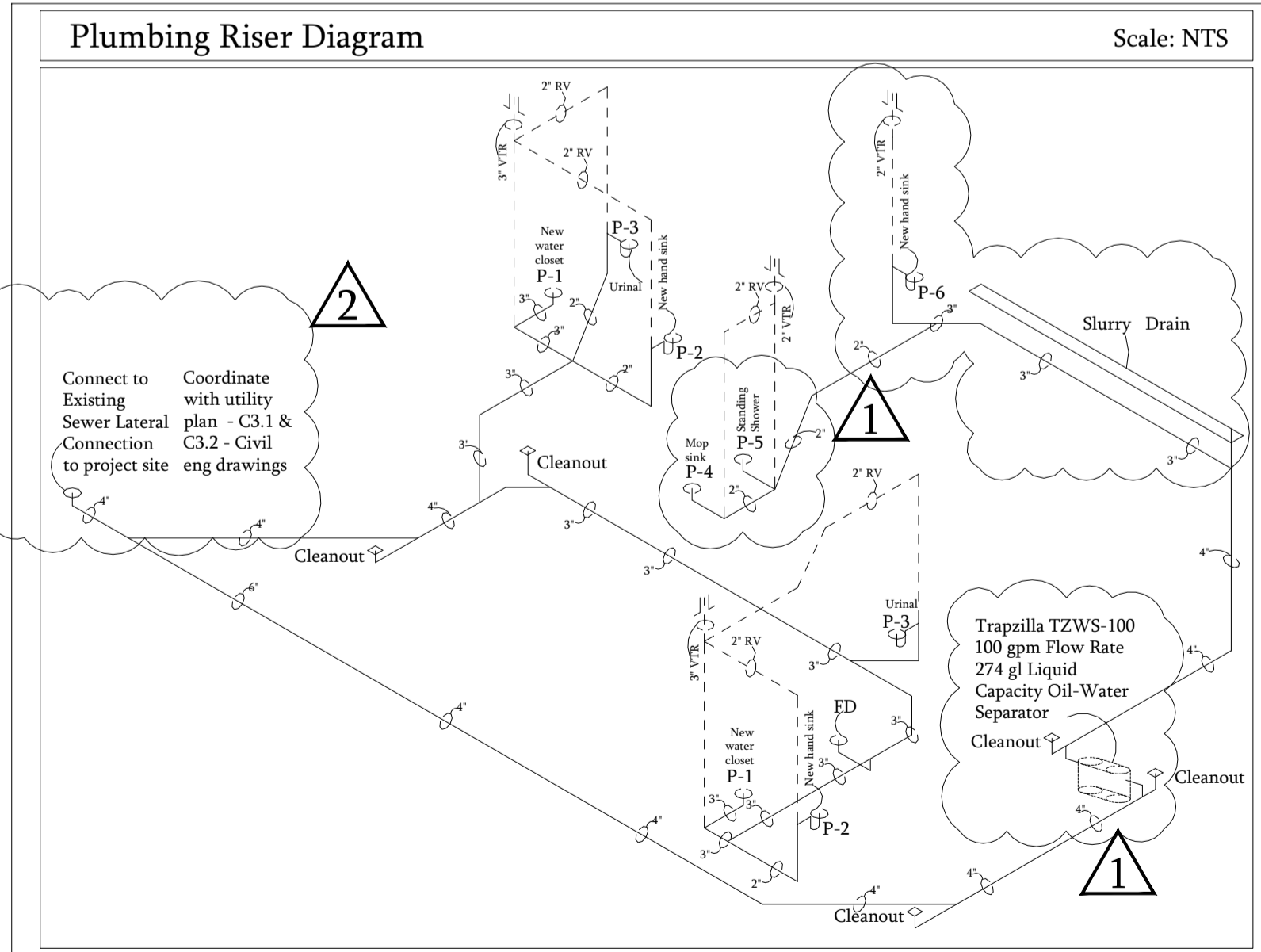
Plumbing Legend

WASTE PIPING	--- SAN ---	WASTE	#	MANUFACTURER'S NUMBER	1	NOTES
VENT PIPING	--- RA ---	VENT	V	3000-5	#-1100-S	2-413-S NICKEL BRASS TOP
COLD WATER PIPING	--- HW ---	VENT THRU ROOF	V/R	3000-5	#-1100-S	2-413-S NICKEL BRASS TOP
HOT WATER PIPING	--- CW ---	COLD WATER	CW	3810	#-7000	2-1403 NICKEL BRASS TOP
		HOT WATER	HW	3820	#-8340	2-1403 MOUNT IN 12"x12"x4" PAD IF LOCATED IN UNFINISHED AREA
		TRAP PRIMER	TP			SEE EQUAL EQUIPMENT BY J.R. SMITH OR JONESPEC MAY BE SUBMITTED FOR APPROVAL

Drain and Cleanout Schedule

WASTE PIPING	WASTE	#	MANUFACTURER'S NUMBER	1	NOTES
	WASTE	W	3000-5	#-1100-S	2-413-S NICKEL BRASS TOP
	WASTE	W	3000-5	#-1100-S	2-413-S NICKEL BRASS TOP
	WASTE	W	3810	#-7000	2-1403 NICKEL BRASS TOP
	WASTE	W	3820	#-8340	2-1403 MOUNT IN 12"x12"x4" PAD IF LOCATED IN UNFINISHED AREA

- DRAIN, WASTE, AND VENT SYSTEM: SCH40 CO-EXTRUDED FOAM CORE PIPING
- WATER SUPPLY TYPE "L" COPPER (CPVC APPROVED OPTION)
- LAVATORY: ONE PIECE CULTURED MARBLE COUNTERTOP AT REST ROOMS AS MANUFACTURED BY LUPPERT OR WEFFCO. COLOR MATTE WHITE.
- WATER CLOSET: BRIGGS TURBO FLUSH HANDICAP UNIT OR APPROVED EQUAL. LOW PROFILE WITH ELONGATED BOWL. SEAT, COVER, COLOR: WHITE.
- WATER CLOSET (HANDICAP): BRIGGS #4700 OR APPROVED EQUAL. LOCATE IN HANDICAP SUITES AND PUBLIC AREAS ONLY.
- TOILET SEAT: GEN1000 #800TM CLOSED FRONT WITH COVER. COLOR: WHITE.
- VANITY FAUCET: MODEL #2520-MPU-SLP AS MANUFACTURED BY DELTA FAUCETS. SHOWER VALVE: MODEL #1524C-BRW-SLP AS MANUFACTURED BY DELTA FAUCETS.
- EXTERIOR FAUCETS: FREEZELESS. LOCATE AS INDICATED ON DRAWINGS WITH KEY.
- LAUNDRY SINK: AMERICAN STANDARD, OR EQUAL.
- BATHROOM FAN UNITS: BRAON #678 FAN/LIGHT COMBINATION. VENT THROUGH ROOF OR SIDEWALL AS INDICATED ON DRAWINGS OR APPROVED EQUAL.
- CUT OFF VALVES TO BE GATE TYPE SINGLE HANDLE CUT OFF.
- PROVIDE ALL FLOOR DRAINS WITH TRAP PRIMING.
- ALL FIXTURES AND PRODUCTS INSTALLED SHALL BE APPROVED EQUAL.

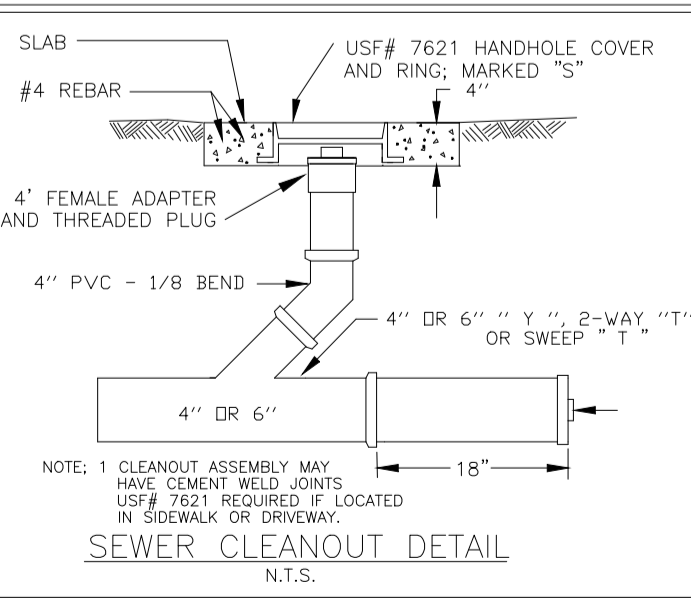


Notes to Contractor

Notes
All utilities (including pump station if applicable) located outside public right-of-ways and public easements shall be privately owned and maintained.
All existing utilities have been field verified at all points of connection to, and at all areas of conflict with OCU mains.
Maintain a minimum of 3 feet of cover over all proposed water, wastewater, and reclaimed water lines.

Oil Water Separator Capacity

Calculation
Area of Service = 48.6 x 65 = 3159 Sf
Required Capacity
6 Cuft for 1st 100 Sf = 6 Cuft
1 Cuft for ea additional 100 Sf
3159-100 = 3059/ 100 = 30.59 Cuft
Total capacity required = 6+30.59=36.59 Cuft
Capacity In gallons = 36.59 x 7.48 = 273.71 Gal
Provided Capacity = 274 Gal.
(Trappilla- TZWS-100-100 gpa-274 gal Liquid)



NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	07/08/21	N GAJJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	04/21/22	N GAJJAR	3RD REVIEW COUNTY COMMENTS -MECH & FIRE	GC/OWNER
3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

2 **NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.**
506 W LANCASTER ROAD ORLANDO FL 32809
SANITARY PLAN -DETAILS - NOTES
PLUMBING FIXTURE SCHEDULE

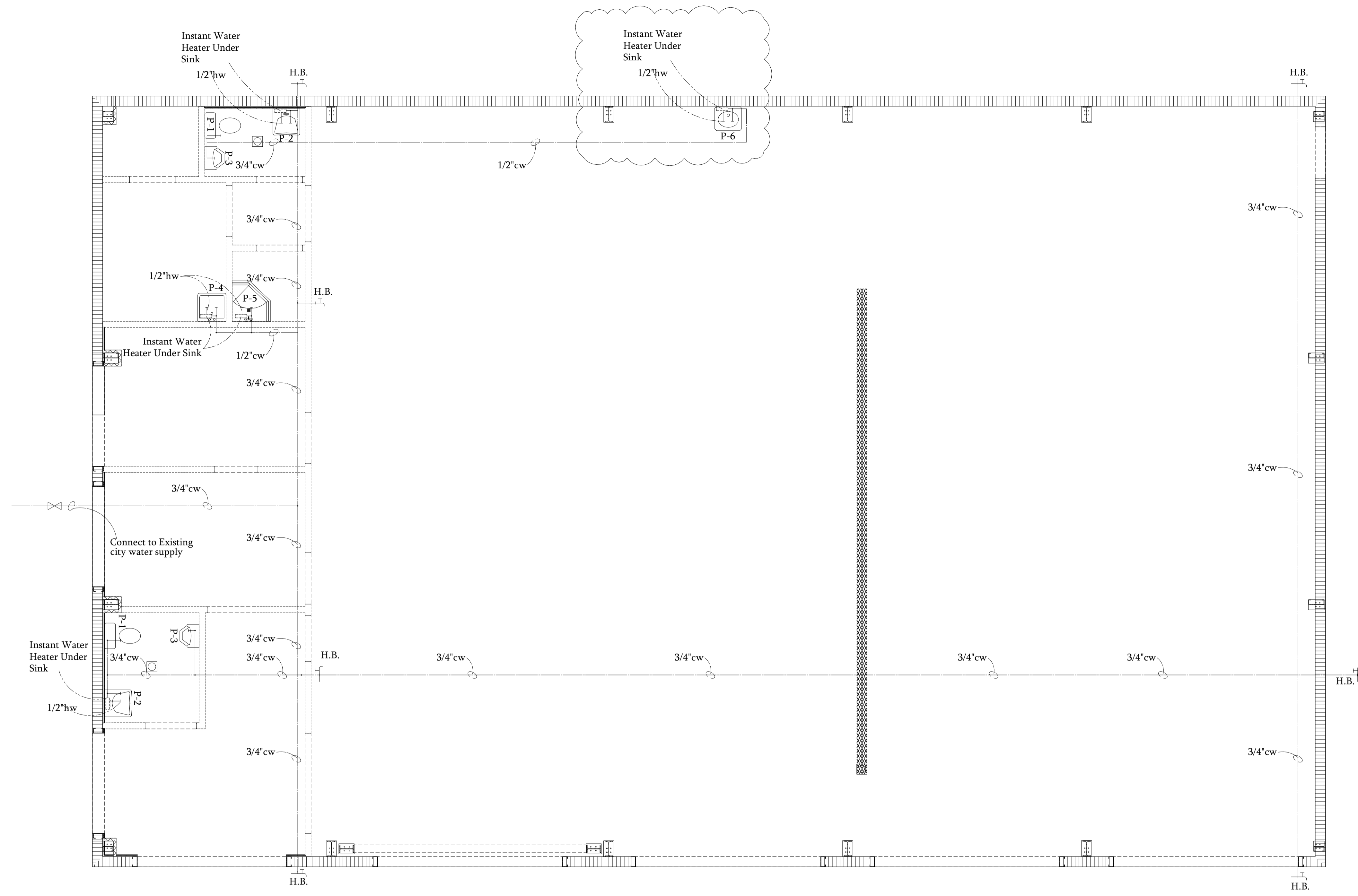
P1
DRAWING NO

SHEET NO: 10
OF SHEETS: 14
DATE: 12/12/20
SCALE: AS NOTED
JOB NO. SKW-LN-1
DESIGN BY: N.GAJJAR
CHECKED BY: R. HAUG.
REMARKS: ---

DESIGN REVIEW BY: ROBERT T HAUG PE
1 IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
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ROBERT T. HAUG, P.E. # 24575
000 EDGWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH:(863) 687-4225

Digitally signed
Original of Robert T Haug
Date: 2022.06.06 12:26:08 -04'00'

CONTRACTOR COPY FOR SUBMITTAL



Plumbing Legend	
— SAN —	Sanitary piping
- - - RA - - -	Return air vent
— CW —	Hot water line
- - - HW - - -	Cold water line
WCO	Wall clean out
CO	Clean out
VTR	Vent through roof

NOTE: (Provide tempered hot water eighty-five to one hundred ten degrees Fahrenheit (85° to 110° F.) to be served from lavatory faucet(s) as required by Florida Building Code - Plumbing - 416.5. NOTE: this shall be accomplished using an approved hot water tempering device, not adjusting the water heater thermostat, in compliance with Florida Building Code - Plumbing - 607.1.)

Note: plumbing contractor to verify prior to submittal of bid if existing location of the vent thru roof will meet code

0' 2' 4' **Water Supply Plan**
Scale: 1/4" = 1'-0"

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	09/08/21	N GAJJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	00/00/00	---	---	---
3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

2 NEW PAINT & BODY SHOP BUILDING FOR
SKW INVESTMENTS INC.
506 W LANCASTER ROAD ORLANDO FL 32809
WATER SUPPLY PLANS

NORTH
 REVISION
P2
 DRAWING NO

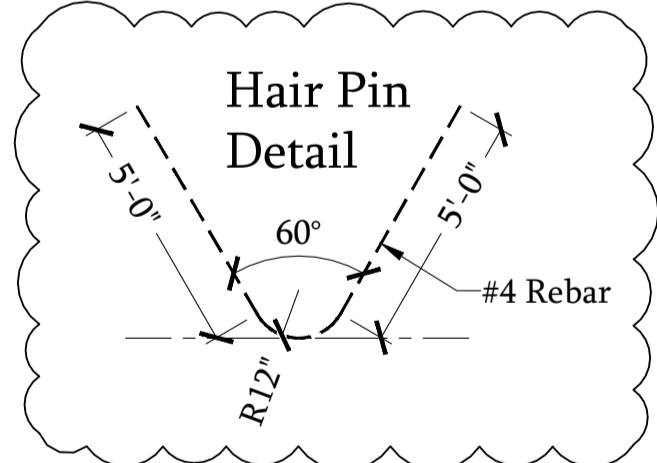
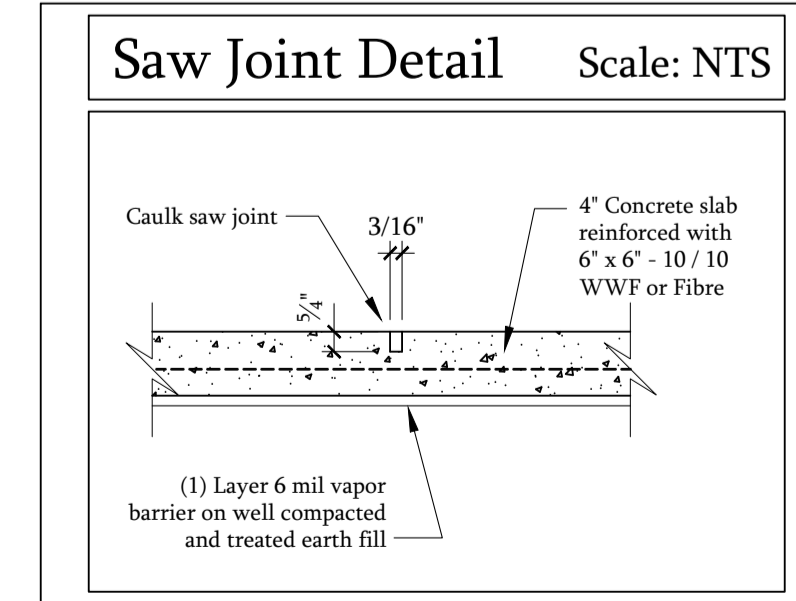
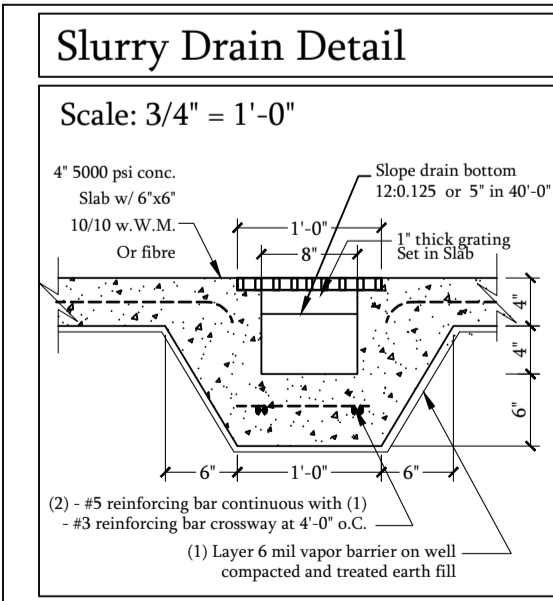
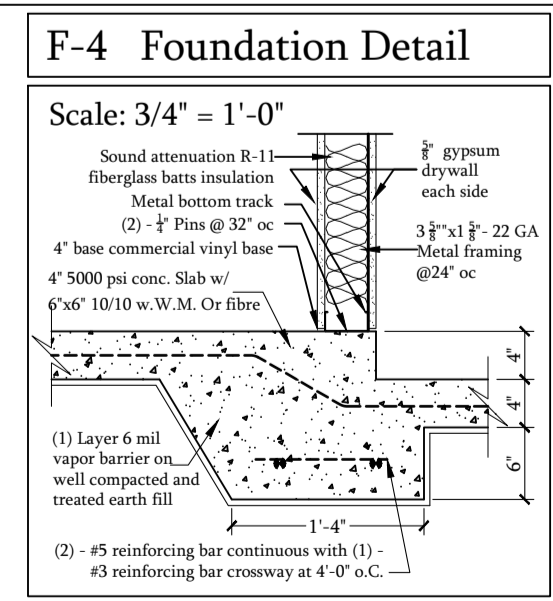
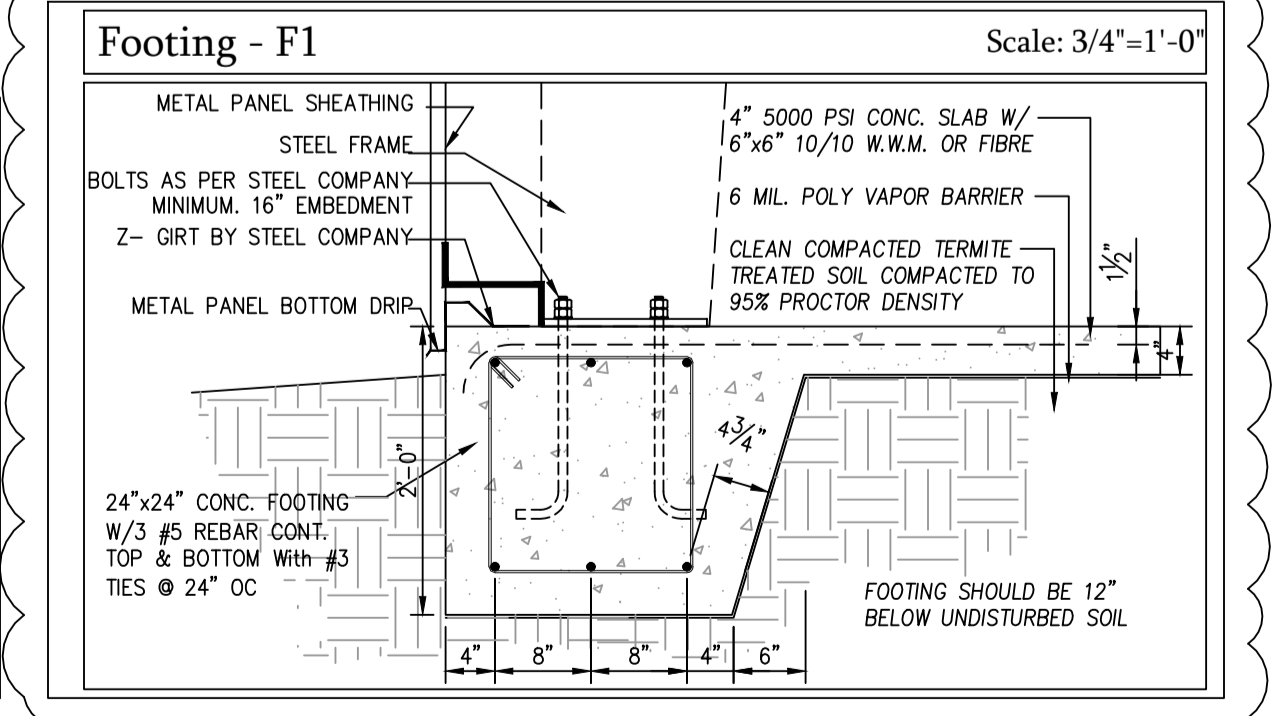
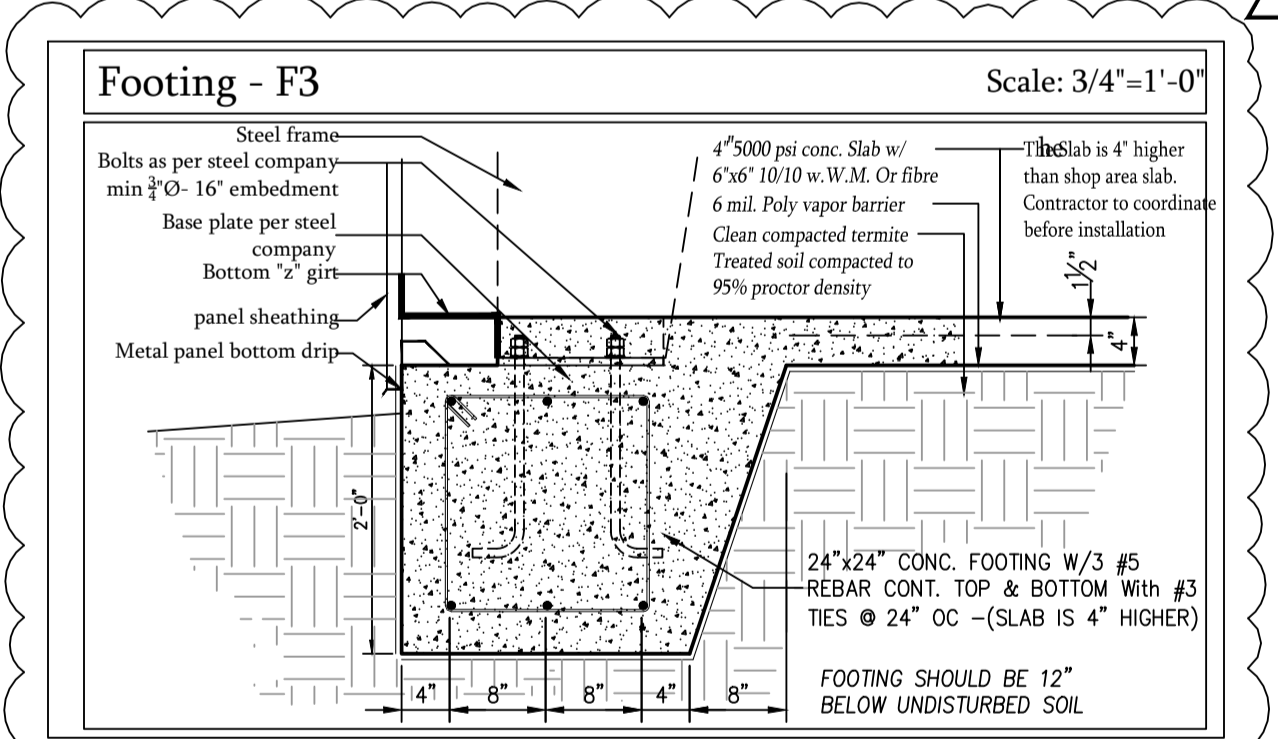
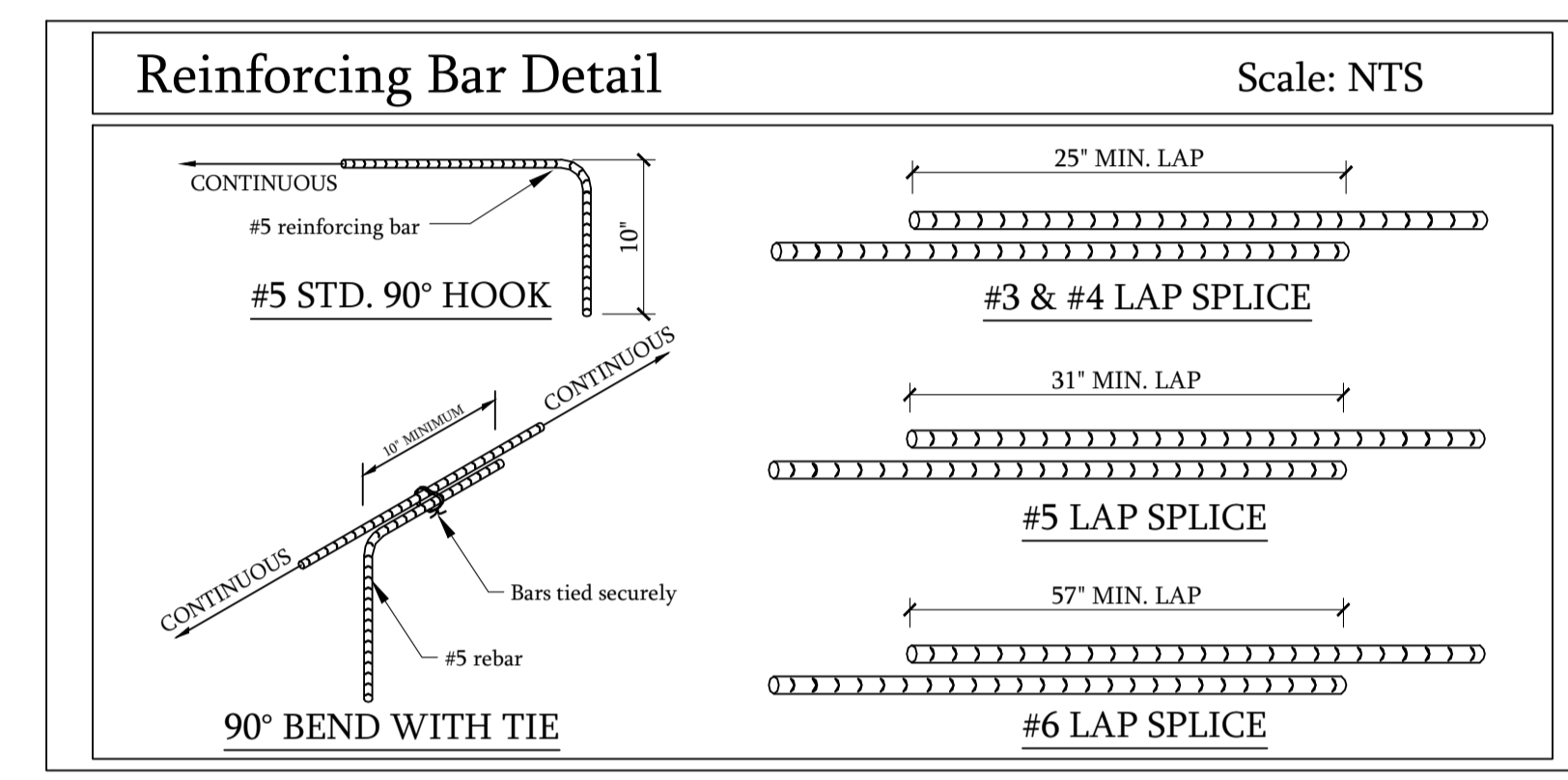
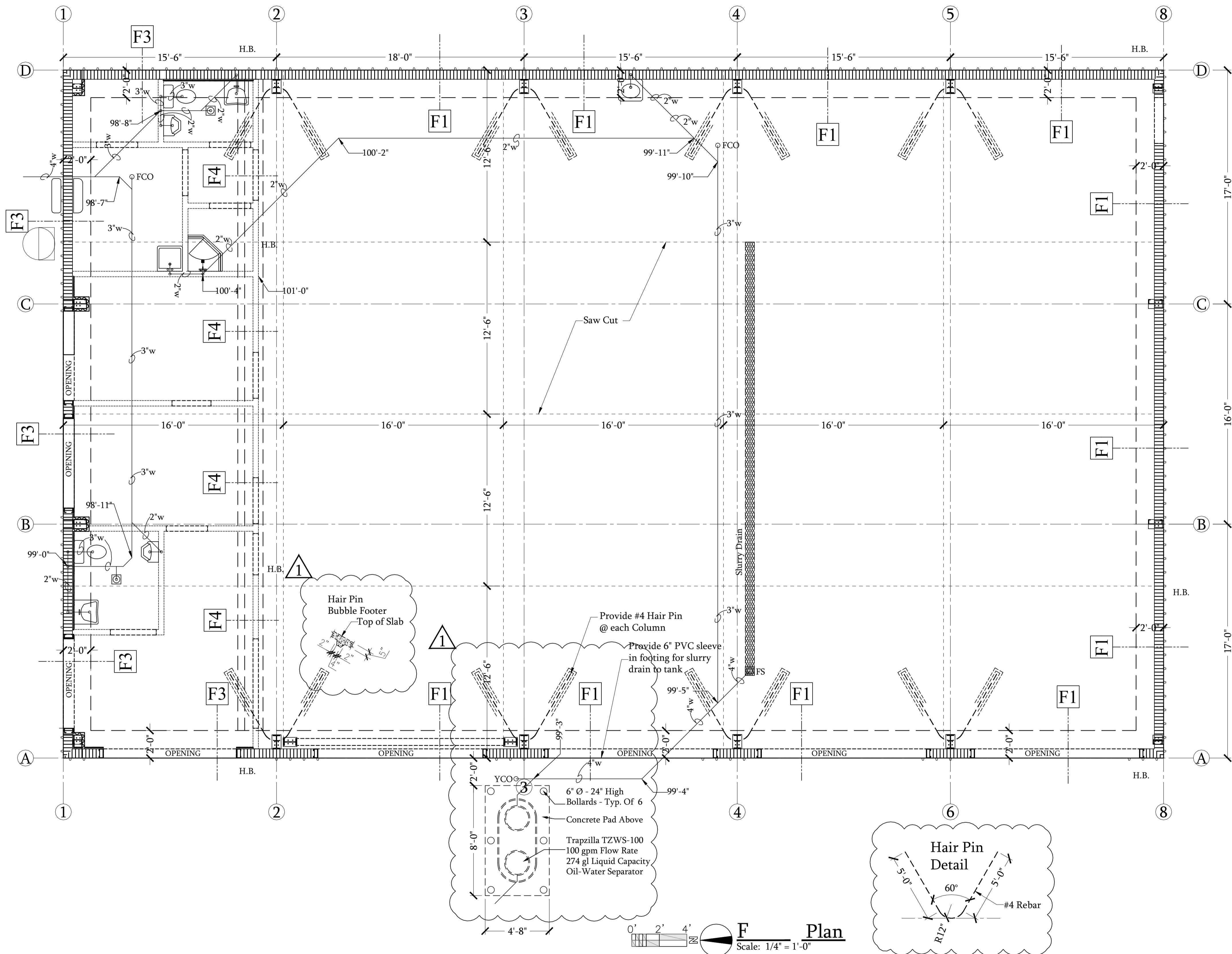
SHEET NO: 11
 OF SHEETS: 14
 DATE: 12/12/20
 SCALE: AS NOTED
 JOB NO. SKW-LN-1
 DESIGN BY: N.GAJJAR
 CHECKED BY: R.HAUG
 REMARKS: -

DESIGN REVIEW BY: ROBERT T HAUG P.E.
 I AM THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
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ROBERT T. HAUG,
P.E. # 24575
 000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 32803 PH:(863) 687-4225

Digitally signed by Robert T. Haug
 Date: 2022.06.06 12:32:08 -04'00'
 Does not grant permission to violate any applicable laws or regulations.

CONTRACTOR COPY FOR SUBMITTAL

DATE, SIGN, & SEAL



Foundation Legend	
---	Foundation / Footer below grade
- - -	Saw-cut
F#	Foundation detail mark

NO.	DATE:	BY:	REVISIONS	COPY ISSUED TO
1	09/08/21	N GAJAR	AS PER 1 ST & 2 ND REVIEW COUNTY COMMENTS AND VALUE ENGINEERING	GC/OWNER
2	00/00/00	---	---	---
3	00/00/00	---	---	---
4	00/00/00	---	---	---
5	00/00/00	---	---	---
6	00/00/00	---	---	---
7	00/00/00	---	---	---

NEW PAINT & BODY SHOP BUILDING FOR SKW INVESTMENTS INC.
 506 W LANCASTER ROAD ORLANDO FL 32809
STRUCTURAL FOOTING PLAN
FOOTING DETAILS

SHEET NO: 9
 OF SHEETS: 14
 DATE: 12/12/20
 SCALE: AS NOTED
 JOB NO. SKW-LN-1
 DESIGN BY: N.GAJAR
 CHECKED BY: R. HAUG
 REMARKS:

DESIGN REVIEW BY: ROBERT T. HAUG P.E.
 VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
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ROBERT T. HAUG, P.E. # 24575
 000 EDGEWOOD DRIVE, SUITE 106A LAKELAND FL 33803 PH: (863) 687-4225

Digitally signed by Robert T. Haug
 Date: 2022.06.06 12:33:39 -04'00'
 CONTRACTOR COPY FOR SUBMITTAL
 DATE, SIGN, & SEAL